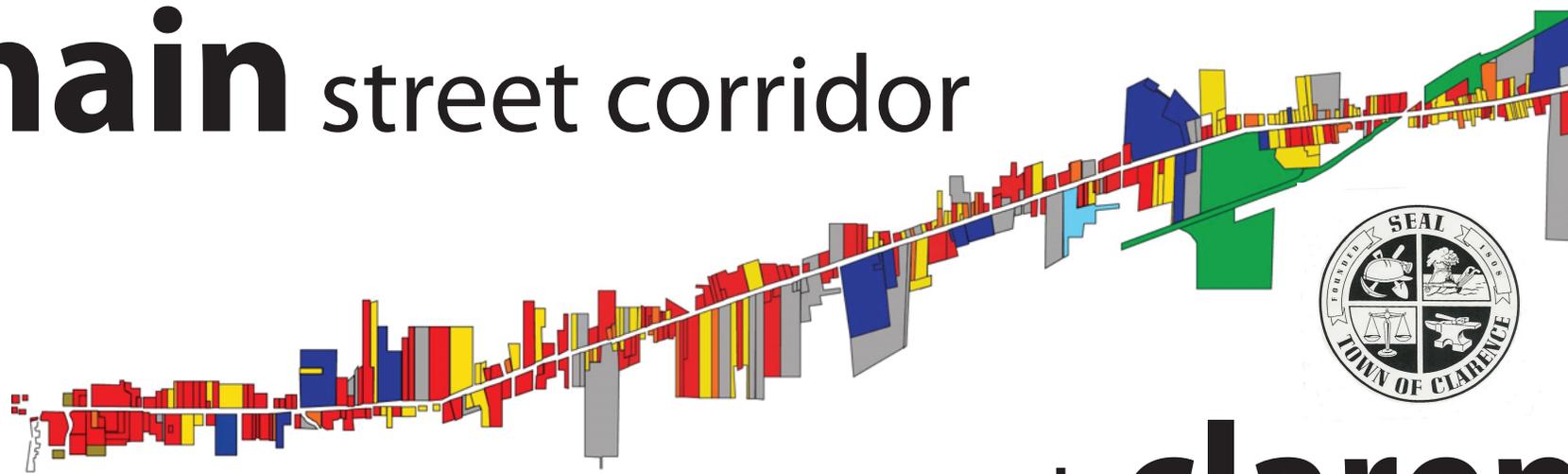


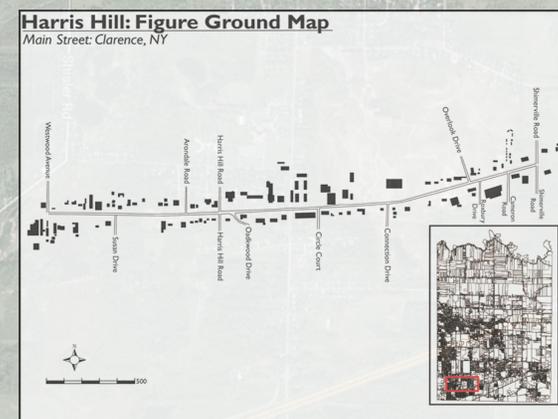
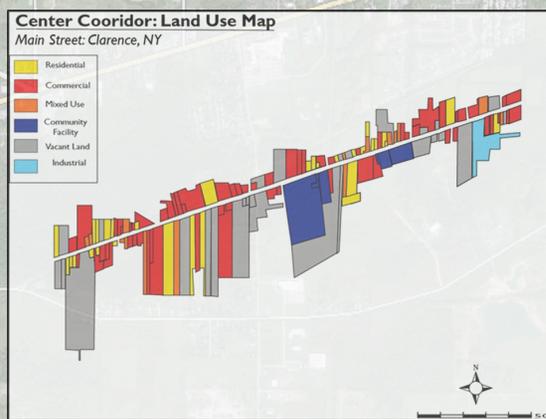
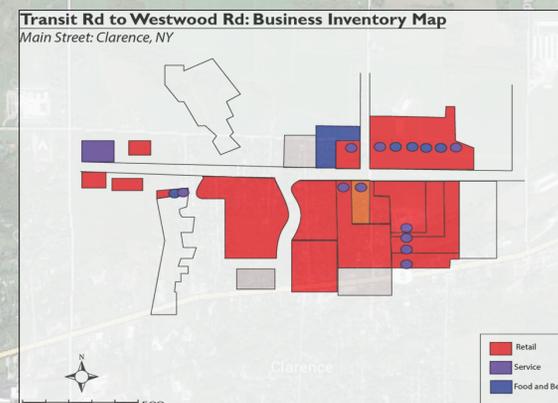
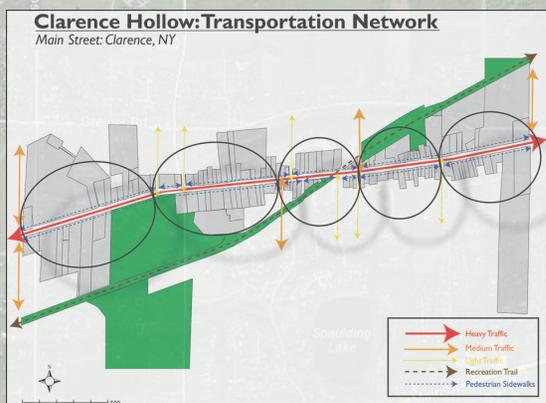
main street corridor



Prepared by the Town of Clarence
Planning and Zoning Department

new york clarence 2014

catalog & analysis



Introduction:

Located to the northeast to the City of Buffalo in Erie County, the Town of Clarence is a municipality that continually displays its character and uniqueness through historic buildings, local businesses and agricultural operations throughout the town. It is clear that Clarence is and is steadily becoming a more attractive area for people to raise their families and settle down, with a current population number set at 30,464 and ever increasing (US Census). Commercial, industrial and residential developments throughout the town are creating the possibility of continuous economic stability through future expansion and growth, while maintaining the rural character of the community.

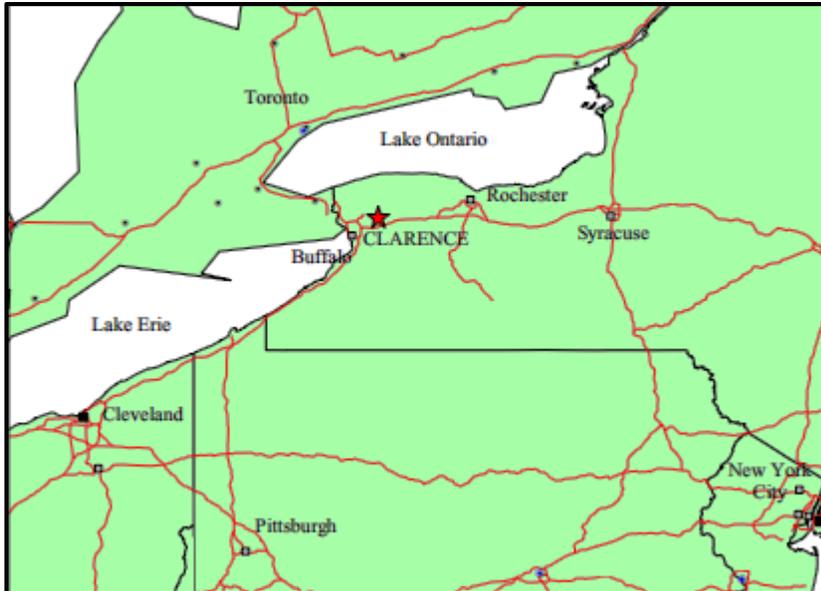


Figure 1. Location of Clarence, New York

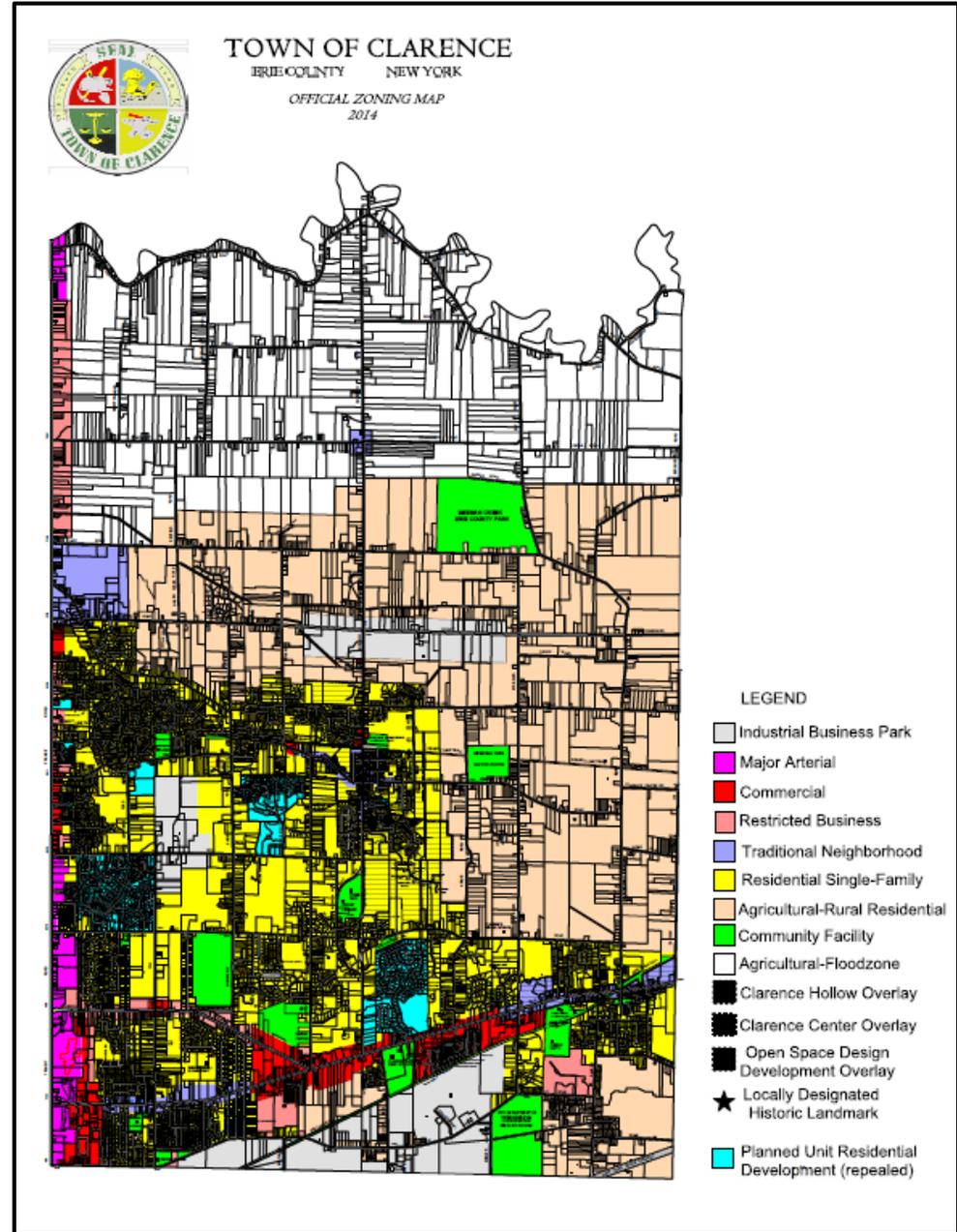


Figure 2. Town of Clarence 2014 Zoning Map

Focus Area – Main Street:

The purpose of this study is to analyze the structure and inventory of the Main Street Corridor in the Town of Clarence. Main Street is one of the central arterials in the town, which many residents and people commuting in town utilize to reach their destinations. It is approximately 6.33 miles in length from western end (Transit Rd) to the eastern end (Davidson Rd) of town.

This study is divided into four focus areas in order to provide a more concise review of the corridor:

1. Transit to Westwood Corridor
2. Harris Hill Corridor
3. Center Corridor
4. Clarence Hollow Corridor

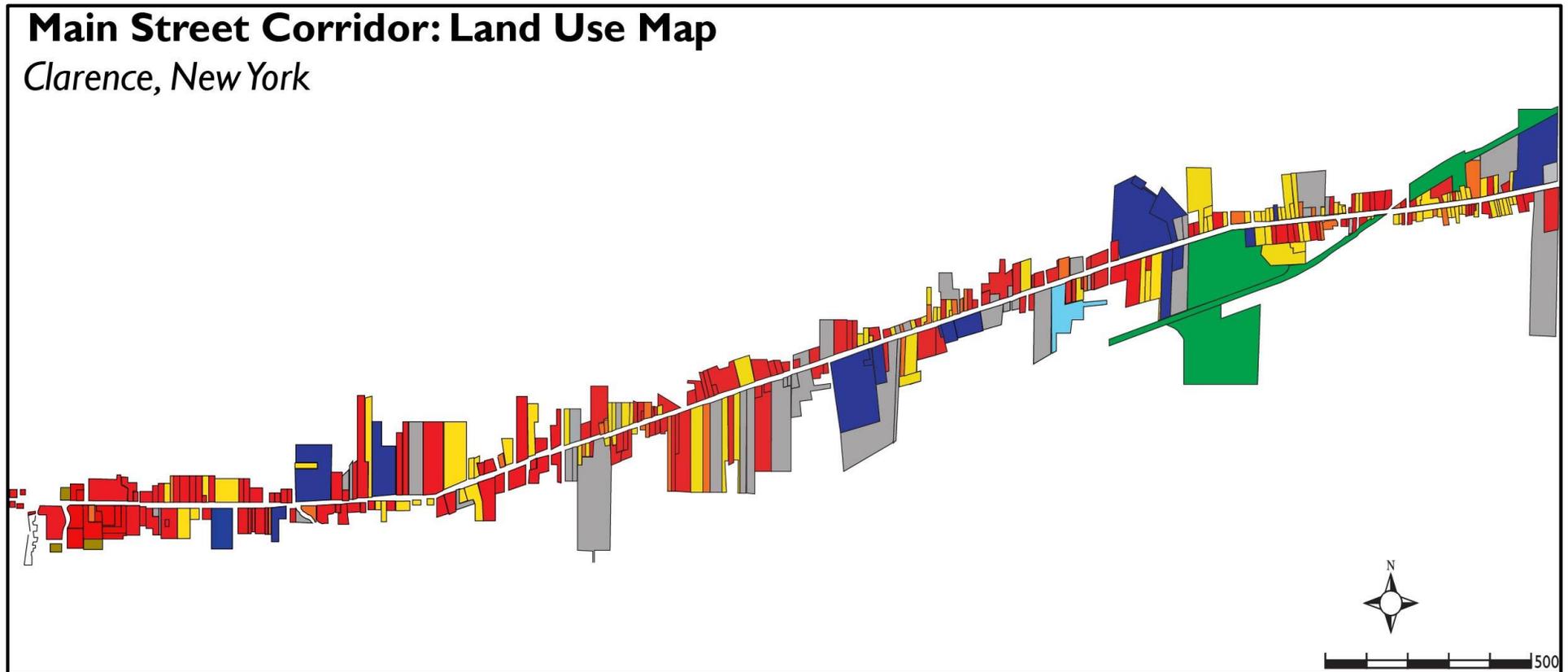


Figure 3. Main Street Corridor Land Use Ma

Transit to Westwood Asset Inventory:

Study Area

The delineation of this corridor extends from east of Transit Rd to just west of Westwood Rd in Clarence, NY. Located adjacent to the Harris Hill part of the town, this stretch of Main Street is approximately 0.5 miles in length.

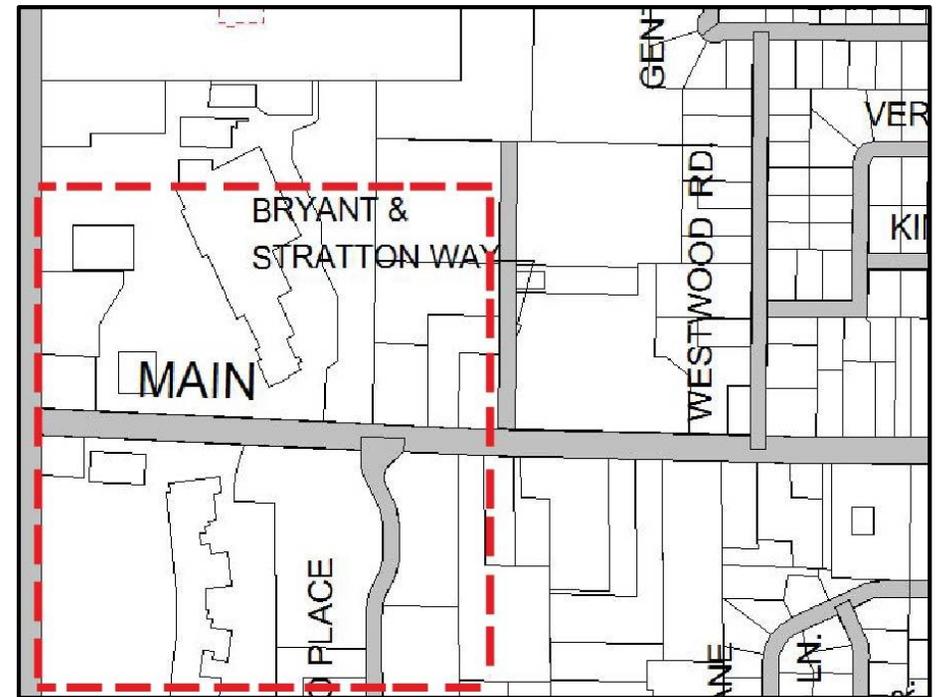


Figure 4. Transit to Westwood Study Area

Existing Zoning

This area exists as both a major arterial and commercially zoned property. Specifically, when an area is classified as a major arterial it maintains characteristics of major businesses, larger traffic congestion, and busier intersections required for more efficient operation of a town or city. In this case, this intersection of Main Street and Transit Rd diverges into a 4 lane arterial with in addition to a left hand turning lane.

The remaining streetscape moving eastward stands as a commercial district meaning that the area is primarily utilized for commercial purposes such as retail, offices and restaurants. This section of Main Street is made up of multiple plazas of which are composed of mixtures of both retail businesses and restaurants alike.

Along this section of Main Street there are concrete sidewalks on both sides of the road, which pedestrians and bicyclists are able to utilize to reach their destinations.

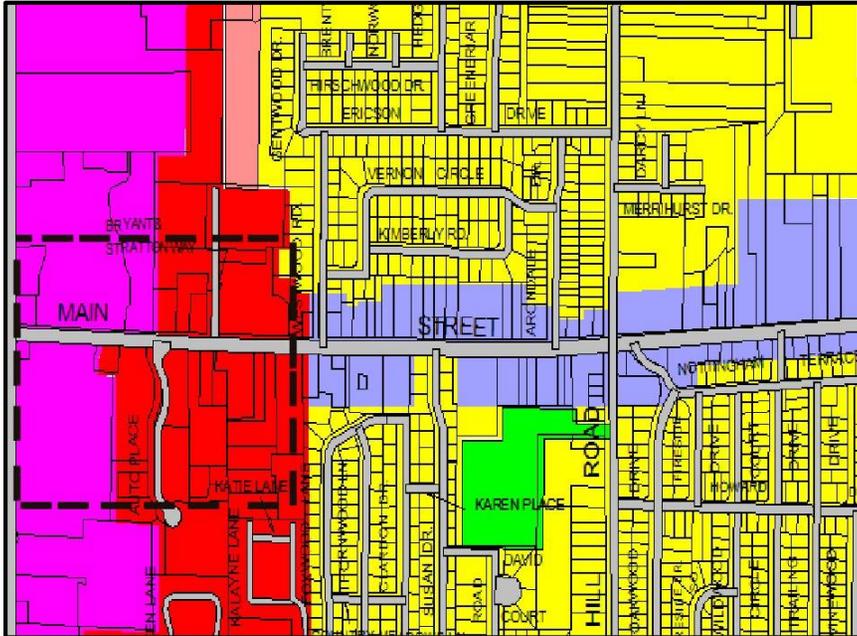


Figure 5. Transit to Westwood Zoning

Land Use

An inventory was taken of the different types of land uses that currently exist in the Transit Rd to Westwood Rd section of Main Street. This land use inventory differs from the above zoning map by specifying the type and location of each parcel's land usage.

- As specified by the particular zoning in this area, primary usage of this land is for commercial use, making up 76% of the total land use.
- The parcels in blue identify parking lots, which are utilized to facilitate both the commercial district and the specific automobile dealers, making up 14% of the land area.
- 0.05% of the parcels have been identified as mixed use mainly because the businesses located in the building are purposed for several uses and services.
- This section of Main Street holds no residential or community facilities.

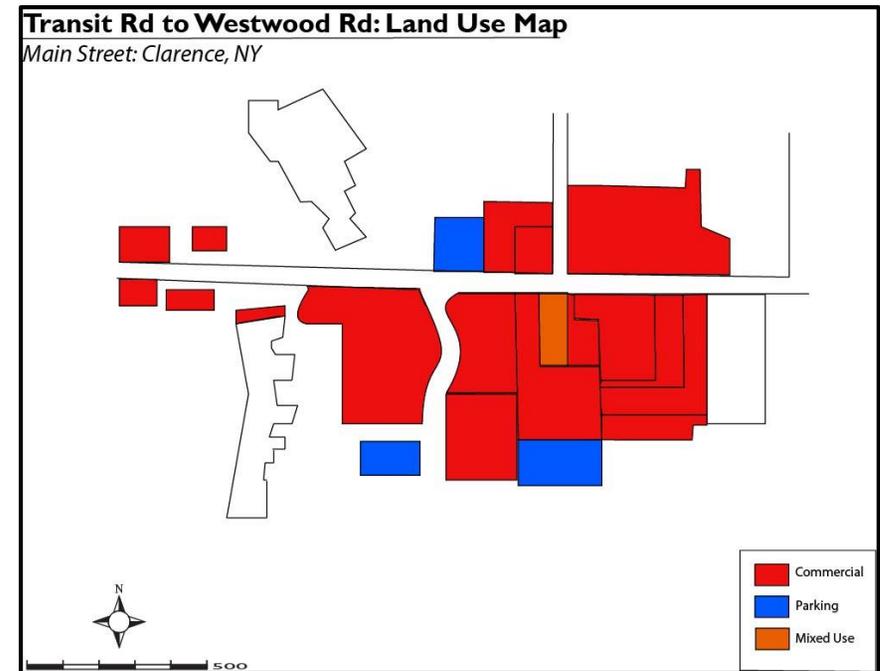


Figure 6. Transit to Westwood Land Use Map

Business Inventory

The strong commercial district on this strip of Main Street generates the ability for residents surrounding this area to shop for a variety of products while having many services at their disposal in the form of plazas and centers.

- There are a total of 33 businesses located in this half mile, ranging from fitness centers to hair salons
- The majority of the retail centers are automobile dealers. There are four separate and competing leading sellers standing adjacent to one another.
- A variety of food and beverage shops exist within the same plaza ranging from a well-known local deli to a popular burger and ice cream eatery.
-

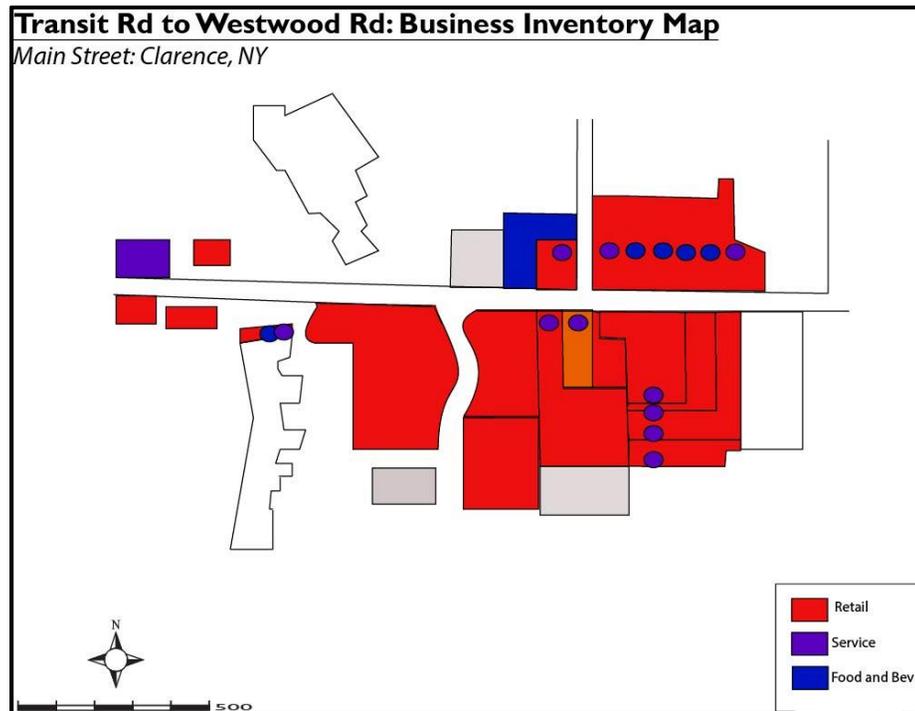


Figure 7. Transit to Westwood Business Inventory Map

Address	Business Name	Type of Business
8000 Main St	Sunoco, Inc.	Gas Station
8005 Main St	Pearle Vision Center Inc	Eye Glass Retail
8040 Main St	Office Depot	Office Supply Retail
8065 Main St	Pesci's Pizza	Restaurant
8070 Main St	Tully's Good Times	Restaurant
8071 Main St	Transitowne Shoe Repair Services	Service
8075 Main St	Barre Centric, Llc	Fitness Center
8120 Main St	AAA Clarence	Automobile Service/Repair
8129 Main St	West Herr Toyota Scion of Williamsville	Automobile Retail
8135 Main St	Northtown Porsche	Automobile Retail
8135 Main St	Northtown Volvo of Buffalo	Automobile Retail
8161 Main St	Uncle Bob's Self Storage	Service/Self Storage
8166 Main St	Howdy's	Night Club/Bar
8171 Main St	A Head of Class	Salon
8171 Main St	Sorte Countertops	Countertop Fabricator
8171 Main St	Print King	Service
8180 Main St	WNY School of Bartending	Education
8185 Main St	Mercedes Benz of Buffalo	Automobile Retail
8195 Main St	Mercedes Benz of Buffalo	Parking Lot
8200 Main St	The Training Edge/ Krav Maga Training Cent	Fitness Center
8201 Main St	Stonegate Office Park	Office Park
8203 Main St	Stonegate Office Park	Office Park
8205 Main St	Stonegate Office Park	Office Park
8207 Main St	Stonegate Office Park	Office Park
8206 Main St	Computer Discount Center	Computer Service/Sale
8208 Main St	Cosmo Prof	Salon Products
8209 Main St	Stonegate Office Park	Office Park
8210 Main St	Bailey Slipper Shop, Inc	Dance Supply Retail
8212 Main St	Beachy Cabinet Makers	Cabinet Suppliers
8214 Main St	Bill Gray's	Restaurant
8216 Main St	Bison Billiards	Restaurant/Entertainment
8220 Main St	Gate House Grill	Restaurant
8226 Main St	Louie's Deli and Imports	Restaurant/Grocery
8226 Main St	The Ballow Law Firm, PC	Law Office

Figure 8. Business List

- The created list abbreviates the businesses located on this section of Main Street. The breakdown is as follows:
 - Consumer Services: 16 (48%)
 - Food & Beverage: 10 (30%)
 - Retail: 7 (21%)

Figure Ground

A Figure Ground Analysis visually represents the relationship between public spaces (white) and buildings (black). It is a useful tool when understanding where development occurs or can occur in a denser community.

Despite the high intensity of business in such a small stretch of Main Street, the street is fairly less developed. This is because most of the development in this area is subject to plazas and multi-use buildings, requiring less building space.

However, with such a high commercial district comes the necessity for parking. The figure on the left shows the amount of land space covered with pavement. As can be seen, almost the entirety of the streetscape is paved, leaving little to no space for greenery. This may be of concern in the future for any type of sewer capacity when there is surface runoff from a heavy or increasing precipitation events.

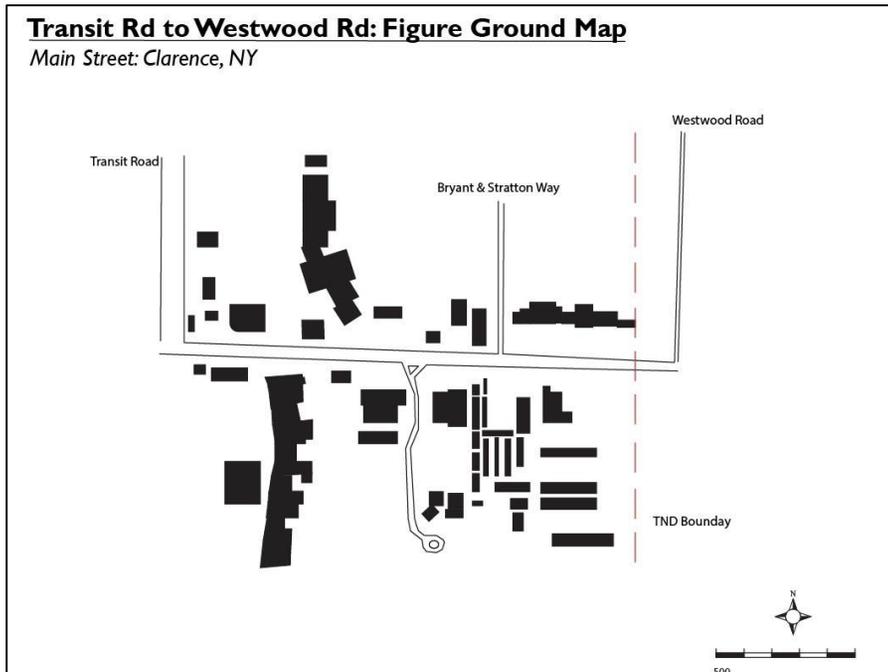


Figure 9. Transit to Westwood Figure Ground Map

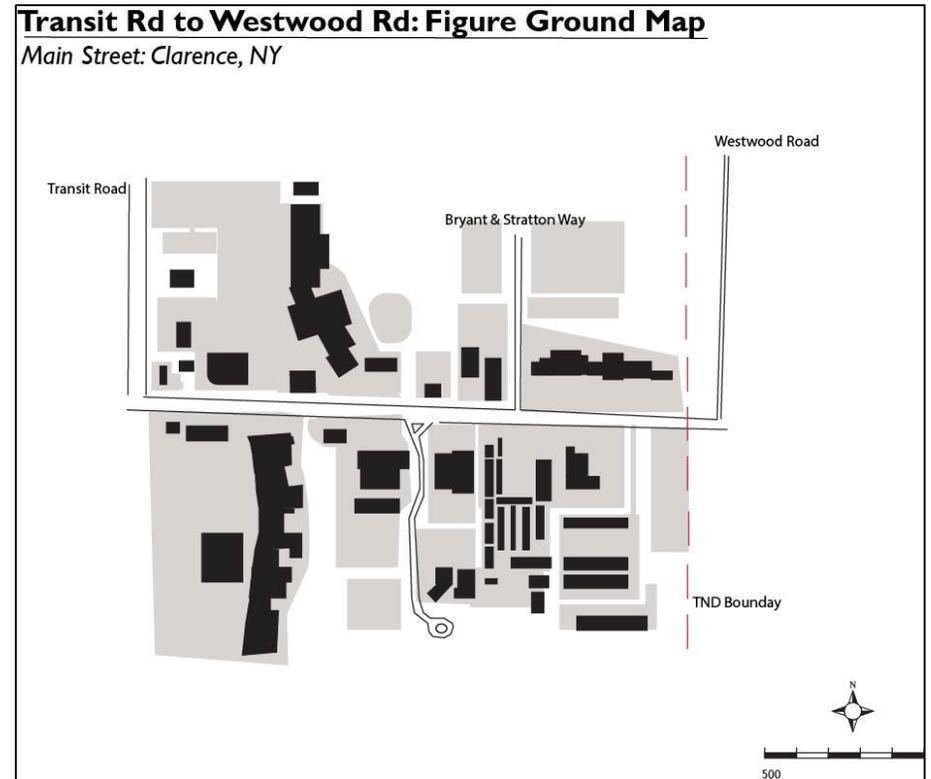


Figure 10. Transit to Westwood Surface Area-Figure Ground Map

Key Transportation Zones

This section of Main Street was subdivided into two key intersection zones, based on the roadways on which they are located and the amount of thru-traffic that is experienced on these streets.

- Main Street (NY 5) itself is maintained by New York State Department of Transportation because it has such high traffic and activity. At the intersection of Main and Transit, Main Street is a four lane highway with a two lane left turning lane.
- Zone 1: Extends from Transit Road to Bryant and Stratton Way
 - A few meters west of this intersection is the location of where Main Street changes from a four lane (with a center turning lane) to a two-lane roadway with a center turning lane. This stretch of Main Street has a speed limit of 40 mph.
- Zone 2: Extends from Bryant and Stratton Way to just west of Westwood Road
 - Westwood is a road maintained by the town leading to a residential district, therefore it is utilized by residents to get to and from home, therefore classifying it as a medium traffic roadway.
- The totality of this section of Main Street contains a pedestrian pathway, with which residents and shoppers in the commercial area can frequently utilize safely. They are adequate in their structure, however, room for improvement on maintenance can be strengthened.

Figure 12. Transit to Westwood Transportation Network

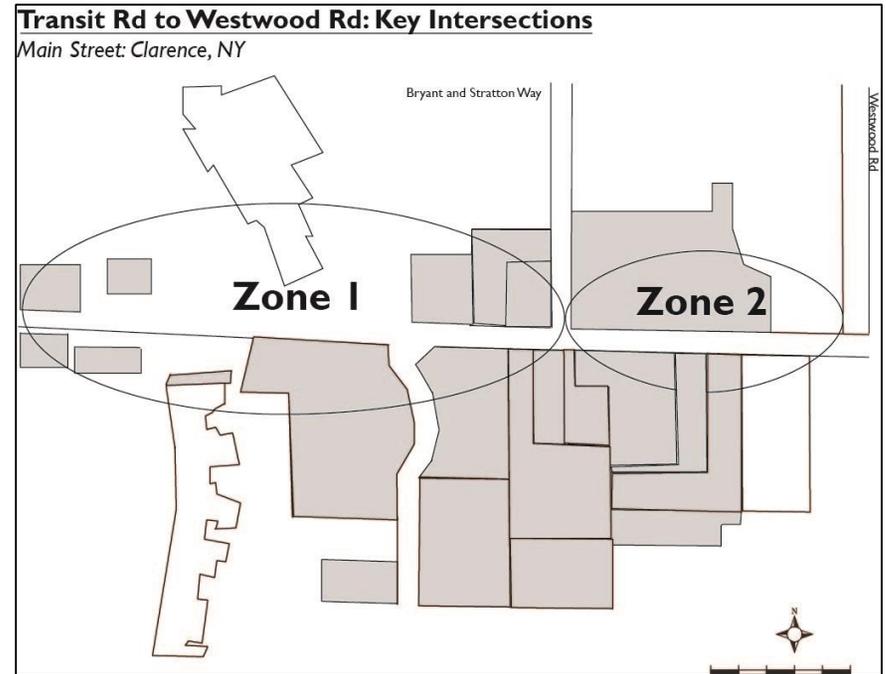
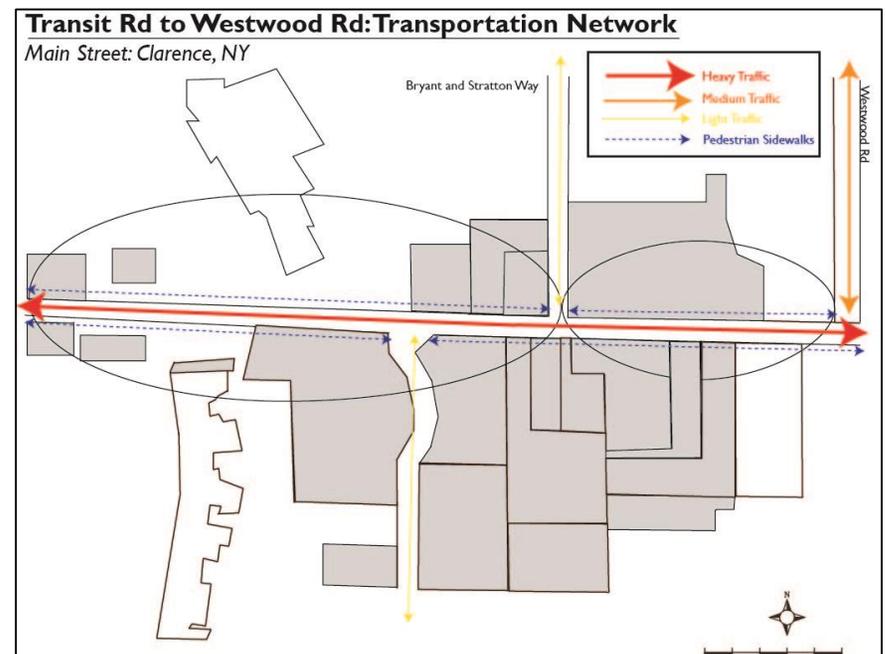


Figure 11. Transit to Westwood Key Intersections



Sewer Capacity

From this map it can be seen that the entire section (100 percent) of Main Street ranging from Transit Road to Westwood Road is covered by the sewer district, shown in the grey area. This is mainly because of the commercial nature of the district and individual parcels themselves. Therefore, within this area, if Main Street were to develop in the future, it would have the ability to contain and hold continuing expansion.



Figure 13. Transit to Westwood Sewer Capacity

Harris Hill Asset Inventory:

Study Area

In 1804, or 1805, Asa Ransom built a saw mill on the stream at the Hollow (Ransom's Creek), and in 1805 Thomas Clark, Edmund Thompson and David Hamlin, sr., were added to the inhabitants. In 1806 Justus Webster, John Taylor, Jonathan Barrett and probably others settled in the town, and in 1807 William Barreft, Thomas Brown and Asa Harris located there. Harris settled on the road to Buffalo, four miles west of Clarence Hollow, on a rise of land which became known as Harris Hill and was a noted rendezvous during the war of 1812.

Harris Hill is located in the southwestern part of the town. It acquired local fame through being the resort of many Buffalo citizens in 1813, when driven out of Buffalo by the British. Early in the spring of 1814, when Buffalo began to be rebuilt, the refugees returned thither and Harris Hill relapsed into its former condition. A post-office was established there in 1843, with William Criqui postmaster; he also kept a store.

The Harris Hill study area is defined by Westwood Road to the west, and Shimerville Road to the east, with Main Street running down the center of the study area. Harris Hill stretches approximately 1.4 miles in length.

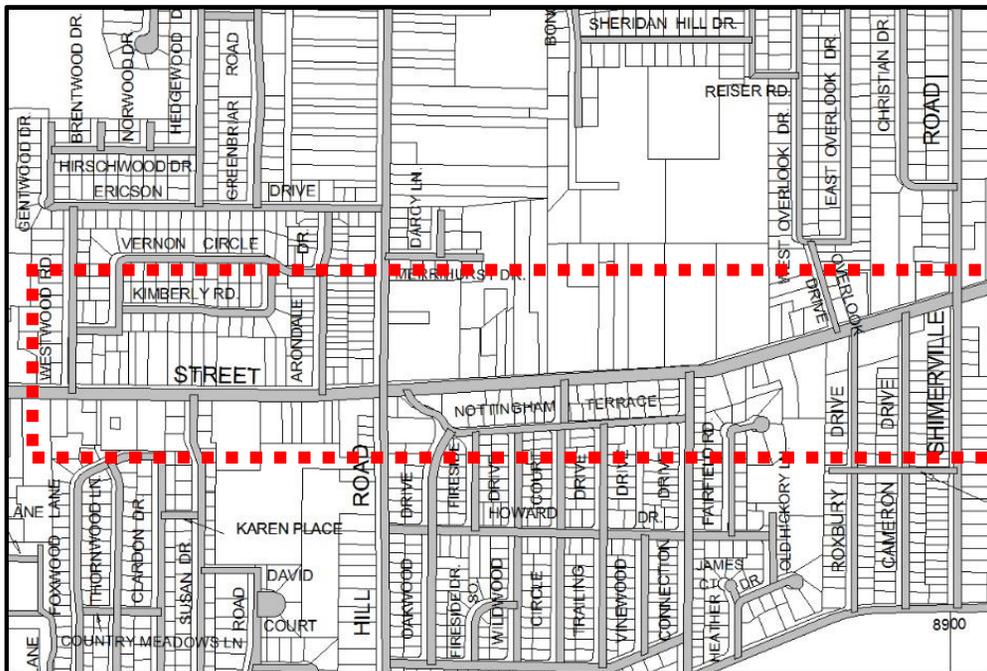


Figure 14. Harris Hill Study Area

Land Use

An inventory was taken of the different types of land uses that currently exist in the Harris Hill neighborhood. This land use inventory differs from the above zoning map by specifying the type and location of each parcel's land usage.

- Along Main Street there are 55 parcels of commercial development, which accounts for 62% of the total land use.
- There are 19 properties, or 21% of the total land use that consist of residential use only. These parcels can include residential single family, and or multi-family housing. The 19 residential units can consist of mixture of home owners, and renters.
- There are 7 parcels, or 8% of the Harris Hill neighborhood that are assessed as vacant land.
- There are 4 parcels, or 4% of the total land use that consist of Mixed Use development. Mixed use refers to a parcel that includes both commercial, and residential uses in one building.
- There are 4 parcels, or 4% of the total land use that consist of Community Facilities. Community Facilities refer to uses such as churches, senior housing, fire stations, and museums.

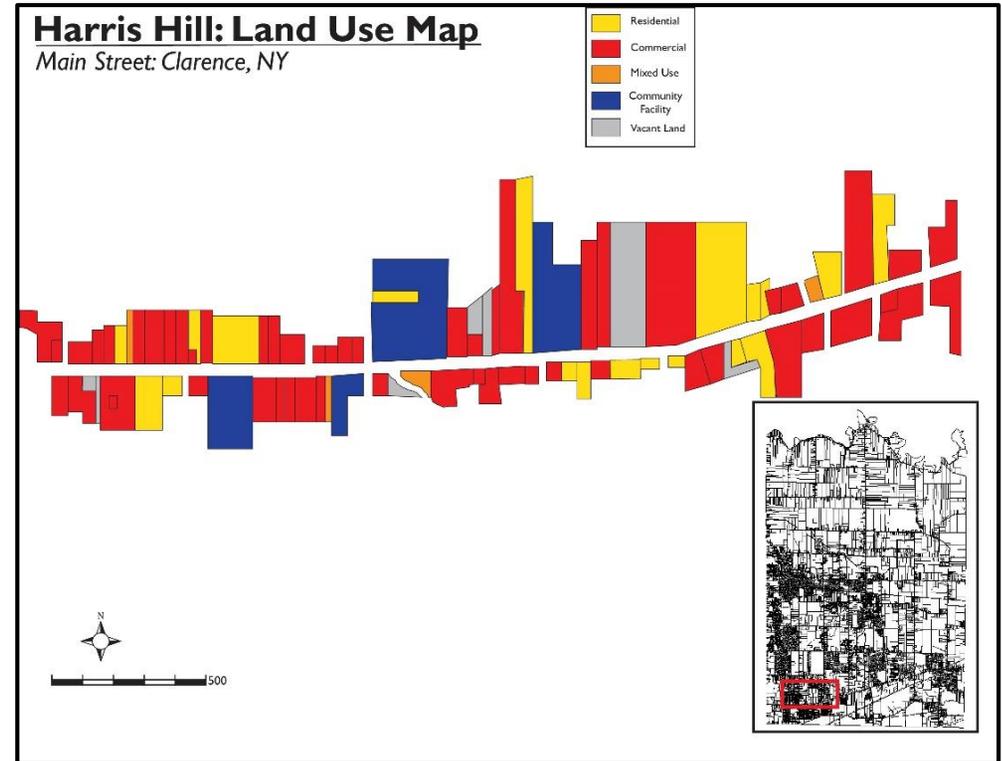


Figure 16. Harris Hill Land Use Map

Figure Ground

A Figure Ground Analysis visually represents the relationship between public spaces (white) and buildings (black). It is a useful tool when understanding where development occurs or can occur in a denser community.

- The Harris Hill neighborhood is constantly dense throughout Main Street. Harris Hill Road going east to Connection Drive is slightly denser than the rest of the study area.
- The lowest density occurs on the south side of Main Street from Connection Drive going east to Shimerville Road.
- The figure ground analysis shows small footprints of existing buildings along Main, with exception to a handful of developments including Samuels Grande Manor, and Dash's Market.
- The figure ground analysis shows that Harris Hill is near maximum build out along Main Street, but has potential for new infill development on vacant lots.
- A very high percentage of Main Street properties are built close to Main Street without a deep setback, making it a pedestrian friendly area to eat, and shop.

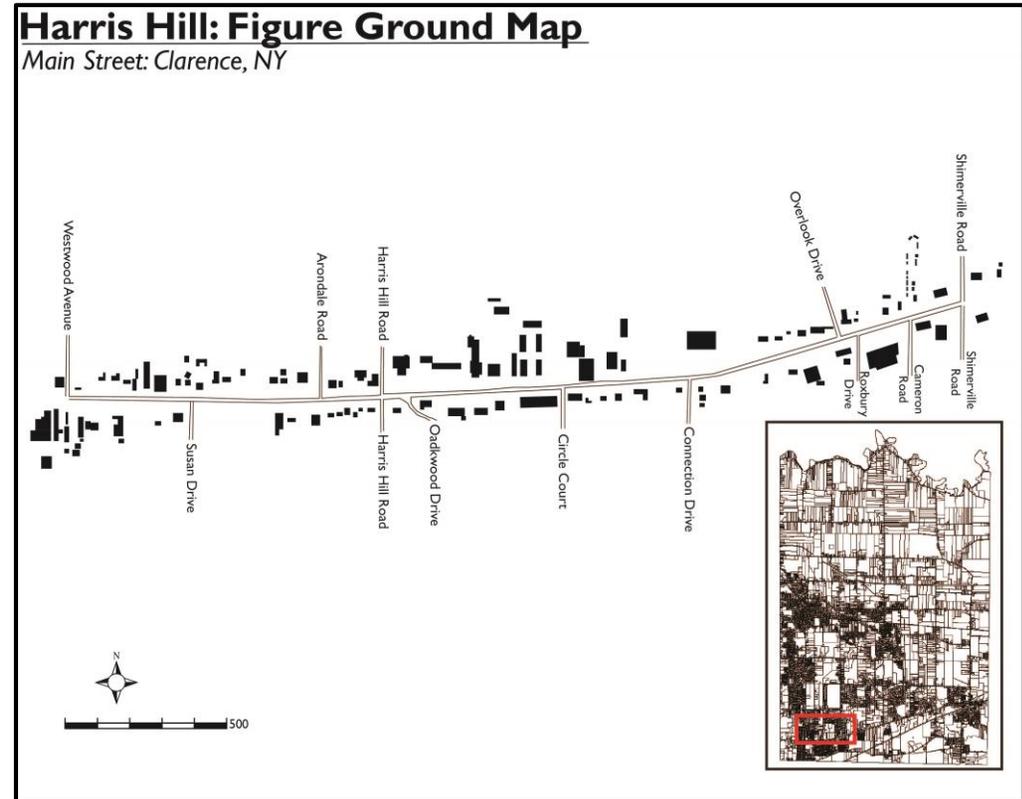


Figure 17. Harris Hill Figure Ground Map

Harris Hill Zones

For the Harris Hill Asset Inventory, the study area was broken up into three transportation zones showing major intersections.

Zone 1: Main and Westwood – Main and Harris Hill

- Consists of mainly small scale commercial properties, with a mixture of a few residential parcels. New developments are located along the southern side of Main Street including an office building and a renovated hotel. The intersection is built up with commercial properties and community facilities (churches).

Zone 2: Main and Harris Hill – Main and Connection

- Consists of diverse usage between commercial, residential, community facilities, and vacant parcels. The intersection is made up of single family residential homes on the south side of Main Street, and Samuels Grande Manor to the north of the intersection.

Zone 3: Main and Connection – Main and Shimerville

- Consists of mainly commercial properties, with a few residential properties. The intersection is built up with commercial properties on all four corners, including a gas station, office building, bank, and restaurant.

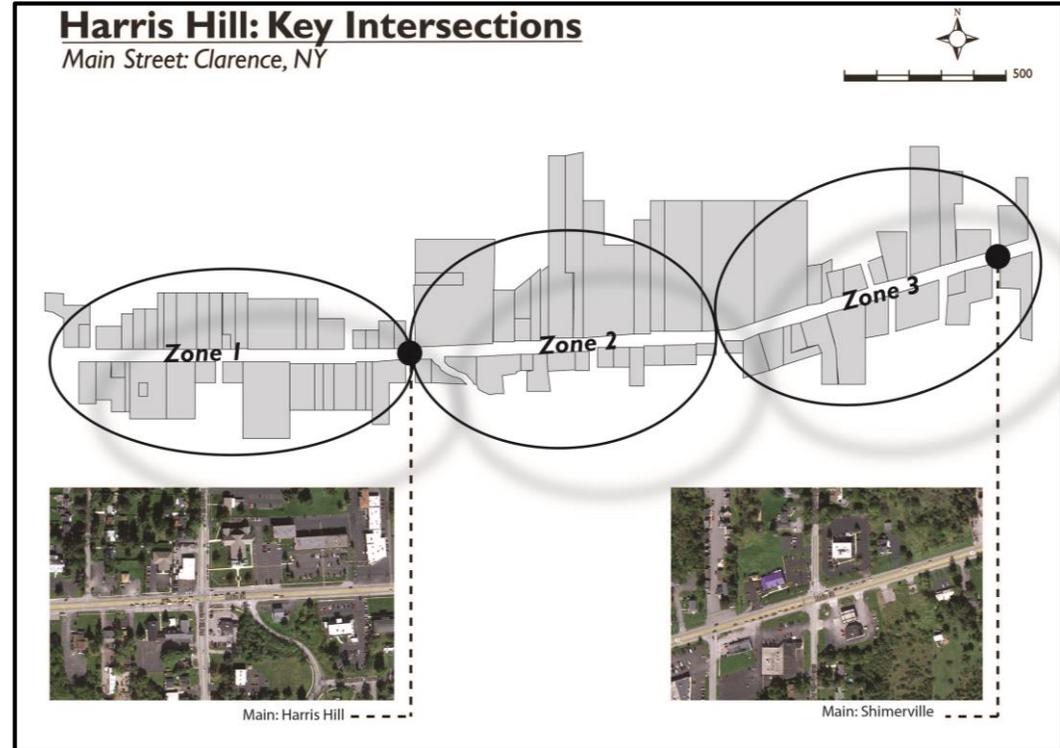


Figure 18. Harris Hill Key Intersections

Transportation Network

Heavy Traffic- Main Street (Route 5) is a New York State Road with a speed limit of 40 MPH. There is one lane of heavy traffic in each direction with a center turning lane.

Medium Traffic- There are several streets which ingress and egress from Main Street, which consist of a medium traffic flow. Harris Hill (35 MPH) and Shimerville (30 MPH), all are labeled as connector streets with medium traffic flow. Each of these connector streets are one lane of traffic in each direction.

Light Traffic- Light Traffic flow can be found on streets with a speed limit of 25 MPH. Westwood, Susan, Arondale, Nottingham, Circle Ct., Connection, Overlook, Roxbury, and Cameron, are all local streets with light traffic.

Pedestrian Sidewalks- There is pedestrian sidewalks on both sides of Main Street from Westwood to Harris Hill. After passing Harris Hill to the east sidewalks become inconsistent, leaving walking on Main Street potentially dangerous, and limiting pedestrian activity to commercial businesses. Sidewalks are existing in front of the Nativity Church and School, Fire Hall, and two commercial developments on the south side of Main.

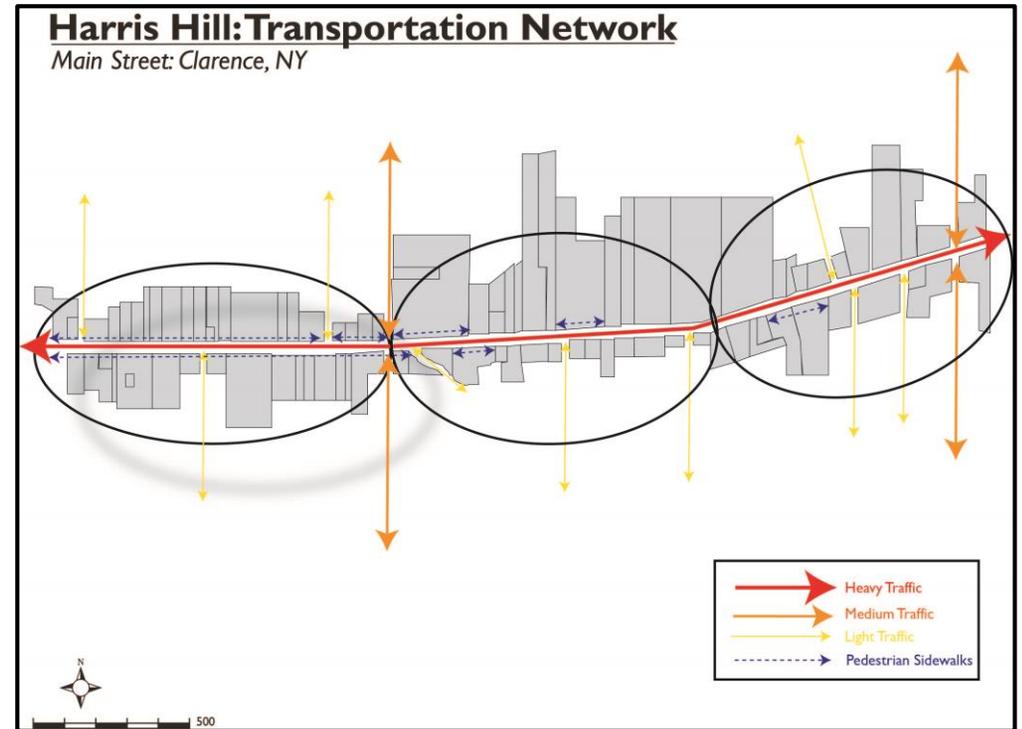


Figure 19. Harris Hill Transportation Network

Commercial Inventory

The Harris Hill neighborhood has a very high diverse inventory of commercial businesses. There is an estimated 58 businesses stretching across the 1.4 miles of Main Street, which are listed on the following page.

The wide variety of businesses consists of restaurants, shops, personal services, and professional services. A breakdown of business types can be seen below.

- Consumer Services: 40 (69%)
- Food & Beverage: 5 (9%)
- Retail: 13 (22%)

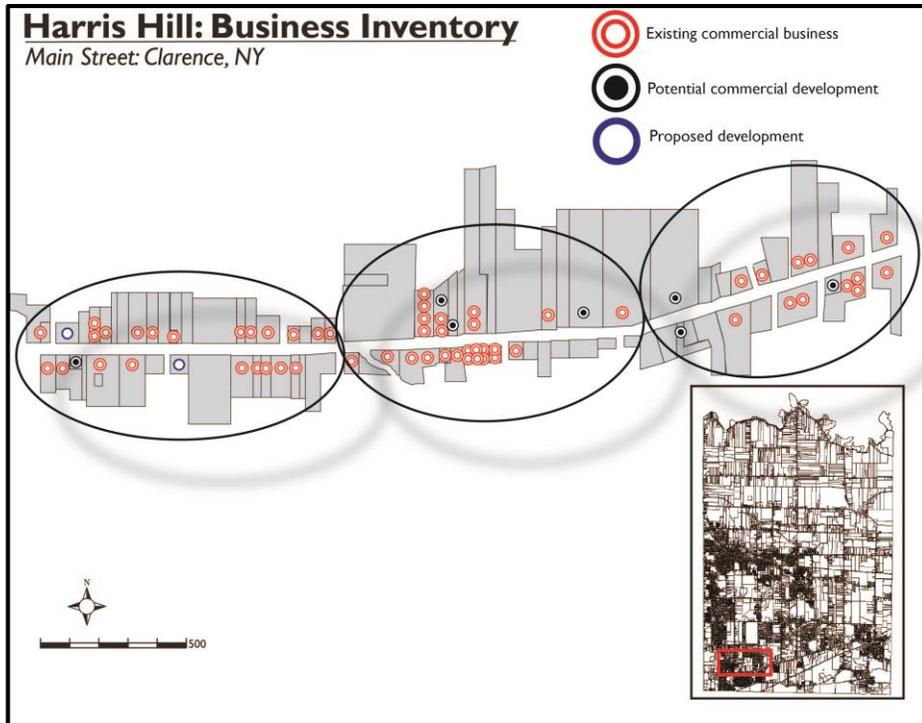


Figure 20. Harris Hill Business Inventory



Figure 21. Harris Hill Business Inventory

Commercial Inventory

Address	Business Name	Type of Business	Address	Business Name	Type of Business
8240 Main	Town Mini	Car Dealership	8565 Main	Hyatt's-All Things Creative	Art Store
8250 Main	Stadium Mobil Inc.	Gas Station	8566 Main	Michael Casseri Agency State Farm	Insurance Company
8255 Main	Budget Inn	Hotel	8566 Main	Electronic & Computer Pitstop LLC	Electronic Repair
8265 Main	Victorian Manner	Hotel	8570 Main	Smooches For Pooches	Pet Grooming
8274 Main	Chuck Eckert Photography & Video	Photography Studio	8575 Main	Aurora Sewing Center	Sewing Boutique
8290 Main	Mark Mansouri, LMT	Massage Therapist Office	8584 Main	Hardee Bros. Dry Cleaners	Dry Cleaners
8290 Main	Dragonfly Studio & Salon	Photography Studio & Salon	8585 Main	Harris Hill Inn	Restaurant & Bar
8301 Main	Athena's Chocolates	Chocolate and Gift Shop	8608 Main	Erdman Anthony & Associates Inc.	Engineering Firm
8304 Main	Architecture Unlimited	Architecture Office	8612 Main	Songin Michael CPA	Accounting Firm
8316 Main	Brian Parisi Co Pier	Copying and Printing Office	8615 Main	Floating Lotus	Tattoo Parlor
8326 Main	Red Mill Inn	Restaurant	8616 Main	Trans Ocean Products Inc.	Food Services
8330 Main	Clarence Insurance	Insurance Company	8625 Main	Emerling Agency LLC	Insurance Company
8350 Main	Able Agency	Insurance Company	8637 Main	Orthosports	Physical Therapist
8370 Main	Chiropractor	Chiropractor Office	8672 Main	Federal Meats	Grocery Store
8411 Main	Evans Bank	Bank	8673 Main	Enhanced Human Performance	Gym
8416 Main	Brigit's Hair & Skin	Salon	8750 Main	Samuels Grande Manor	Banquet Hall
8420 Main	Prime Source	Marketing Firm	8805 Main	Grosso Door & Hardware	Home Construction
8440 Main	Amigone Funeral Home Inc.	Funeral Home	8810 Main	Insurance Service-Western NY	Insurance Company
8445 Main	Kabab & Curry	Restaurant	8828 Main	Krystal Klear Water Center	Water Purification
8450 Main	Century 21	Real Estate Office	8845 Main	Dash Markets Inc.	Grocery Store
8455 Main	American Eagle Fireplace	Fireplace sales & service	8855 Main	Passport Wine & Spirits	Liquor Store
8525 Main	Reads Laundry & Dry Cleaning	Dry Cleaners	8860 Main	Coldwell Banker Chubb	Real Estate Office
8470 Main	Harris Hill Animal Hospital	Veterinary Office	8870 Main	Nicholas Pagano-Allstate Insurance	Insurance Company
8490 Main	Harris Hills Auto Services	Auto Repair	8899 Main	EMS Healthcare Informatics	Healthcare Office
8503 Main	First Niagara	Bank	8899 Main	Key Bank	Bank
8560 Main	Paula's Donuts of Clarence	Bakery	8899 Main	Sunbridge Management	Healthcare Office
8560 Main	Clarence Eye Care	Optometrist	8900 Main	Hayes Seafood House	Restaurant
8560 Main	Cambridge Stratford	Learning Center	8925 Main	NOCO Express	Gas Station
8560 Main	White Lotus Therapeutic Massage	Massage Therapist Office	8940 Main	Essex Homes	Home Builders

**Estimate of Harris Hill businesses, not approximate.*

Figure 22.
Commercial Business List

Center Corridor Asset Inventory:

Study Area

The delineations of this area ranges from east of Shimerville Road to just west of Shisler Road. This is the longest and most middle section of the Main Street arterial, extending about 2.7 miles long.

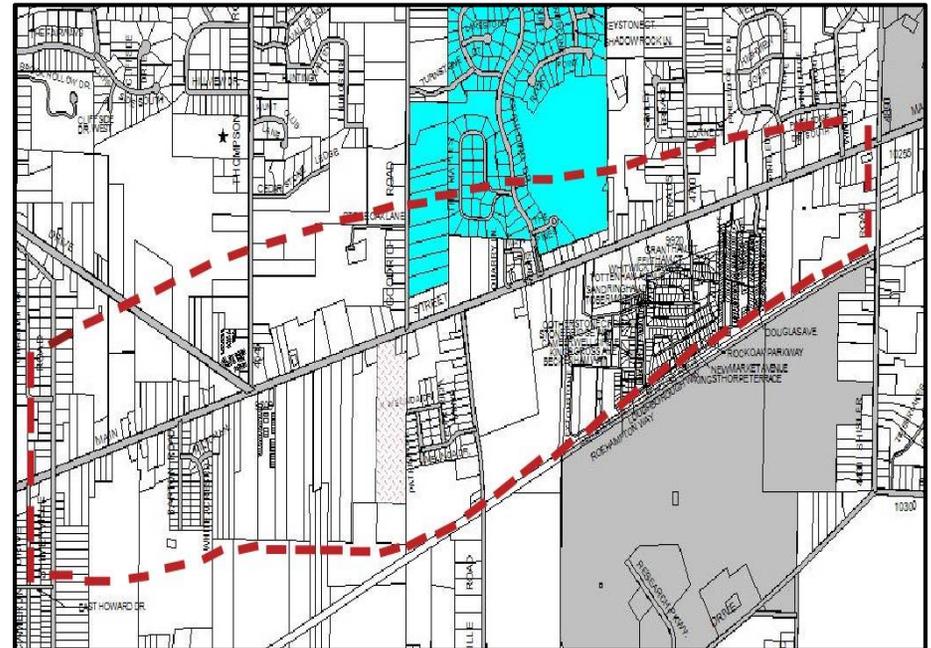


Figure 24. Center Corridor Study Area

Existing Zoning

This section of Main Street is completely under commercial zoning, meaning that the primary use of the land space is for commercial activities such as retail and service businesses.

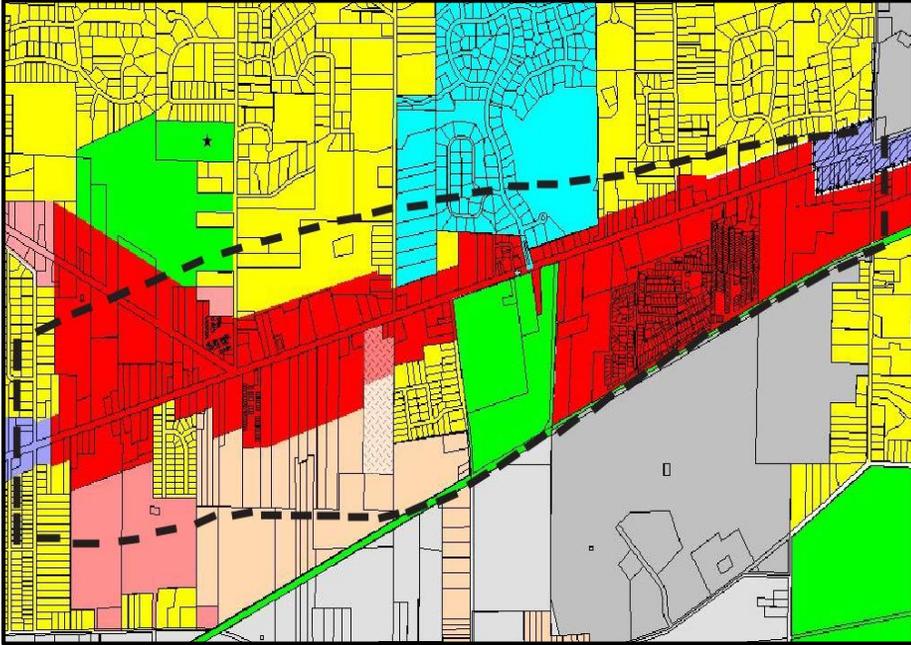


Figure 25. Center Corridor Zoning

Land Use

This strip of Main Street displays a variety of uses throughout its commercial district. Along this section, there are 145 parcels of land which have been classified into residential, commercial, mixed use, community facility, vacant and industrial uses.

- There are 31 parcels of land, which account for residential properties, making up 21 percent of the total land area. Most of residential units toward the east are single family homes, while closer to Shisler Road there are more apartments and mobile home parks.
- 64 parcels of land are commercial properties, which is 44 percent, or almost half of this section of Main Street.
- There are 15 parcels designated as Mixed Use, which ultimately make up 10 percent of the land use in this area. For example, these are mostly local businesses such as dental offices or financial advisors whom work out of their homes.
- There are six parcels that reside as community facilities, which make up four percent of the land area. These facilities are Clarence High School, churches, banks, postal offices and the state police department.
- 28 parcels vacant properties make up this section of Main Street. This accounts for 19 percent of the land area.
- A single parcel or 0.6 percent of the land area is categorized as light industrial land.

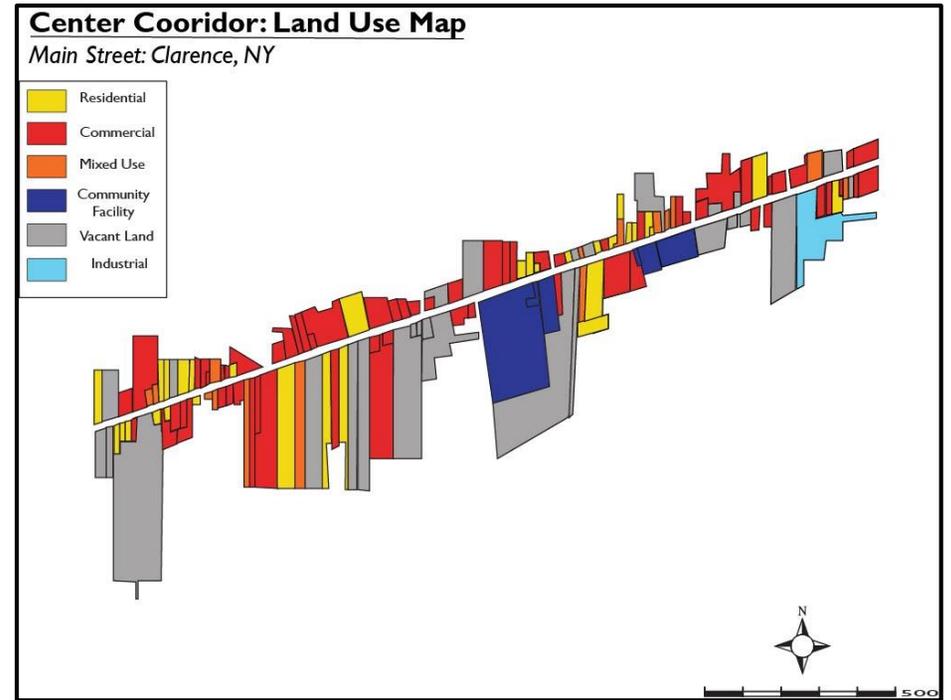


Figure 26. Center Corridor Land Use Map

Figure Ground

The figure ground map which is shown points at few main realities about this corridor of Main Street. First, there is medium built up density throughout the entire strip. However, as seen by the amount of white space that is left, there is still significant room for development, especially along the many identified vacant properties. With Clarence Senior High School and a number of other residential properties and developments in the surrounding area, it is no doubt that Main Street will have few obstacles with future expansion.

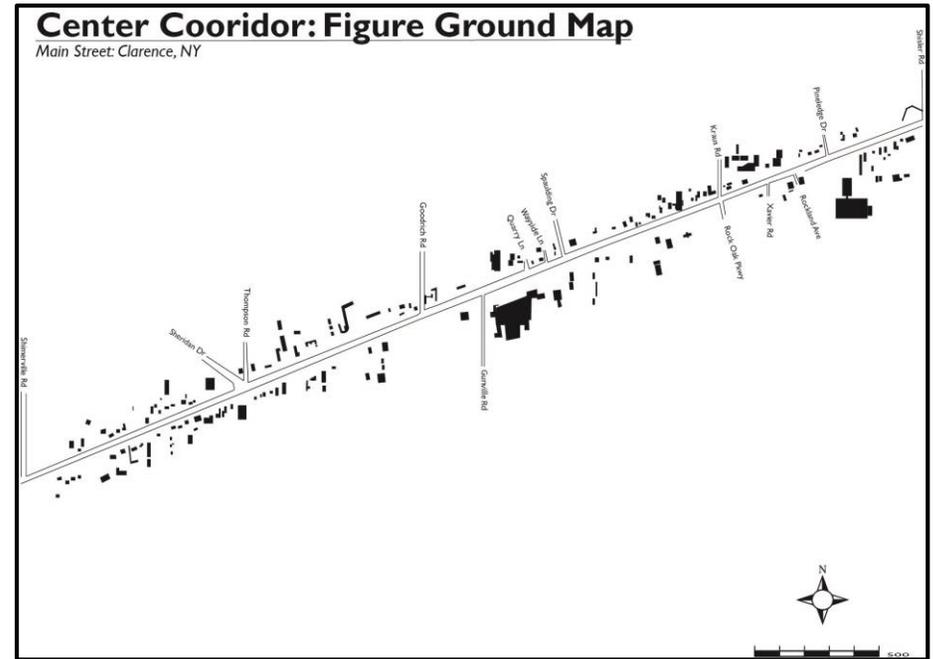


Figure 27. Center Corridor Figure Ground Map

Key Intersections

The map below displays the key traffic intersections along the Main Street Corridor sectioned into four separate zones.

Zone 1: Main and Shimerville – Main and Sheridan/Thompson

- Consists of a mix of both residential and commercial properties, with Shimerville cornered with a gas station and office building. Sheridan/Thompson, consists of a three-way intersection with Tim Hortons, Walgreens, Rite-Aid all as surrounding properties.

Zone 2: Main and Sheridan/Thompson – Main and Goodrich

- Consists of commercial properties to the east and west and vacant properties to the south, making this intersection less busy than its surrounding counterparts.

Zone 3: Main and Goodrich – Main and Kraus

- Similar to Main and Goodrich, the properties surrounding Kraus are both commercial and vacant.

Zone 4: Main and Kraus – Main and Shisler

- Consists of surrounding commercial properties, motel to the northwest of the intersection and a shopping/service plaza to the southwest of the intersection.

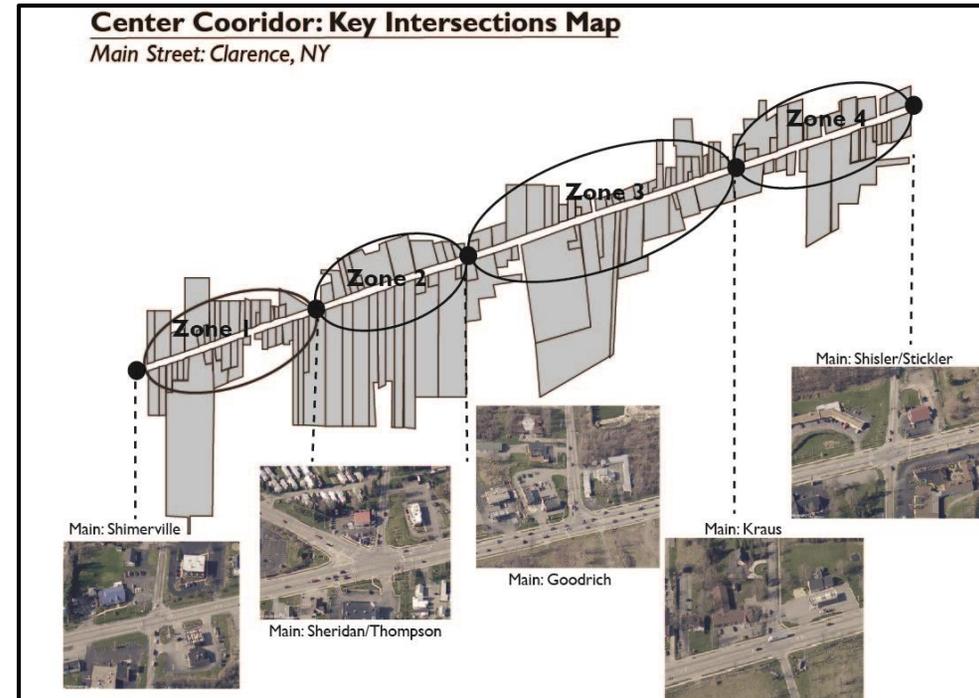


Figure 28. Center Corridor Key Intersections Map

Transportation Network

Heavy Traffic- Shown in red, Main Street is a New York State Road with a speed limit of 40 MPH. There is one lane of heavy traffic in each direction with a center turning lane. Also, Sheridan Drive is considered heavy traffic with a speed limit of 45 MPH.

Medium Traffic- There are several streets which ingress and egress from Main Street, which consist of a medium traffic flow. These streets include Thompson, Goodrich, Kraus, Shisler and Strickler.

Light Traffic- Light Traffic flow can be found on streets with a speed limit of 25 MPH or streets that maintain little traffic. These streets include Gunville, Spaulding Drive, Quarry Lane, Winding Lane, Rock Oak Parkway, and Pineledge.

Pedestrian Sidewalks- There are pedestrian sidewalks on both sides of Main Street, beginning from the Rite Aid and Natale Builders just west of Sheridan Drive, extending to Shisler Rd.

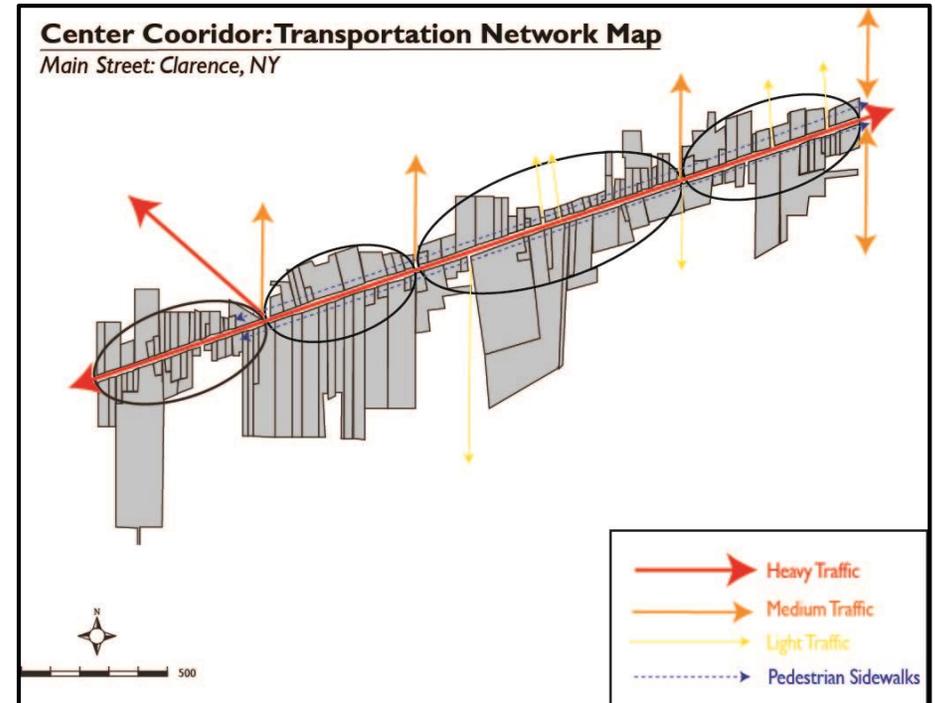


Figure 29. Center Corridor Transportation Network Map

Commercial Inventory

Address	Business Name	Business Type	Address	Business Name	Business Type
8975 Main	Milewicz Richard CPA	Accountant	9276 Main	Anthony Dee, MD	Medical
8995 Main	Michael Bloom Family Medicine	Medical Office	9276 Main	Damon Morey	Law Office
9000 Main	Bison Nursery	Garden Service	9280 Main	Domachowski, Kempisty, Salvatore CPA	Accountant
9030 Main	Battastoni Golf Center	Outdoor Driving Range	9300 Main	Park Plaza Motel	Motel
9040 Main	Dr. Abdul Q. Fazili, MD	Medical Office	9325 Main	Gary's Pools	Pool Service
9055 Main	Cycles Plus	Bicycle Shop	9370 Main	America's Best Value Inn	Motel
9060 Main	Monkey See Monkey Do	Book Store	9385 Main	Louies Car Clinic	Car Service
9079 Main	Clarence Inn	Motel	9393 Main	Clarence Wall and Ceiling	Construction Service
9089 Main	Andrew C. LoTempio Attorney at Law	Law Office	9393 Main	Sweet Elegance	Bakery
9095 Main	Clarence Crossroads Center	Medical Offices	9393 Main	Anabec, Inc	Mold Remediation
9110 Main	Clarence Hollow Jewelers	Jewelers	9393 Main	E & M Hydraulic, Inc	Equipment Repair
9120 Main	-	Storage Facility	9400 Main	Palace of Sweets	Food Shop
9125 Main	Village Cabinet and Furniture	Furniture Sales	9400 Main	The Hiding Place	Gift Shop
9132 Main	Keller Industrial	Industrial Product Sales	9415 Main	Orazio's	Italian Restaurant
9138 Main	John Campagna Chiropractor	Chiropractor	9420 Main	Dunkin Donuts	Donut Shop
9139 Main	Main Music Shoppe	Music Sales	9430 Main	Wilson Farms	Gas Station/Convenient Store
9140 Main	A Frame In Time	Art Gallery	9450 Main	Goodrich Coffee and Tea	Coffee Shop
9141 Main	Savant	Contractor/Developer	9450 Main	Arthur's Executive Clean	Dry Cleaning
9142 Main	Ashton Gallery	Art Gallery	9470 Main	Rock Garden Court Motel	Motel
9144 Main	Rejuve Massage Therapy	Massage	9505 Main	Scheff Thompson Cress Ir	Financial Investment Office
9155 Main	Executive Building		9530 Main	Carmine Tiso, DDS	Dental Office
9159 Main	Natale Builders	Home Construction	9545 Main	Moss and Sullivan, Inc	Insurance Agency
9160 Main	Rite Aid	Pharmacy/Convenient Store	9580 Main	Main Mobility	Wheelchar Retail
9175 Main	Catnaps	Feline Hotel	9600 Main	W.J. Cox	Insurance Agency
9185 Main	Gallahger Printing	Copying/Printing Services	9600 Main	Dr Kelly Tsimidis, DDS	Dental Office
9195 Main	Gallahger Printing	Copying/Printing Services	9600 Main	Northtown Podiatry	Medical Office
9220 Main	Tim Hortons	Café/Donut Shop	9600 Main	Financial Design Group	Financial Planner
9217 Main	Walgreens	Pharmacy/Convenient Store	9650 Main	Macdonald, Tyska, and Al	Dental Office
9240 Main	GR Sales and Service	Lawn Mowing Service	9670 Main	Betty Ross Costumes	Costume Shop
9270 Main	Canine Academy	Dog Kennel			

Address	Business Name	Business Type	Address	Business Name	Business Type
9685 Main	Hughes Hitech	Engineering Services			
9700 Main	Castle Capital, Inc	Business Management			
9734 Main	Complete Comuter Solutions	Computer Services			
9775 Main	Glamour Pools	Pool Service			
9780 Main	El Ranchito	Mexican Restaurant			
9800 Main	Kennedy's Cove	American Restaurant			
9829 Main	-	Storage Facility			
9830 Main	Hair Unlimited By Lauren	Hair Salon			
9840 Main	EG Sackett Company, Inc	Tile Contractor			
9870 Main	Clarence Wine and Spirits	Liquor Store			
9880 Main	The Pampered Pooch	Dog Salon			
9890 Main	Lipinoga Florist	Florist			
9900 Main	Dr . Thomas Dougherty	Medical Office			
9920 Main	McDuffies Bakery	Bakery			
9970 Main	Red Apple Food Mart	Gas Station/Convenient Sto			
9992 Main	Frey's Old Time Furniture	Furniture Store			
10029 Mai	Hector's Hardware	Hardware Store			
10055 Mai	Steven's Collision	Car Service			
10060 Mai	Frank Guimpa Allstate Insurance	Insurance Agency	10210 Main	Antiques at the Glencroft	Antique Store
10069 Mai	Clarence Liquor Mart	Liquor Store	10215 Main	Kelkenberg Homes	Contractor
10080 Mai	Clay Hands Pottery	Pottery/Craft Store	10220 Main	Fels Three Crown Motel	Motel
10100 Mai	ACT Associates	Industrial Fan Service	10225 Main	Dave's Antiques	Antique Store
10120 Mai	Buffalo Road Imports	Toy Store	10225 Main	Salon in the Tower	Hair Salon
10151 Mai	Health and Fitness Advantage, LLC	Fitness Center	10225 Main	Genesis PPG	Credit Card Processing
10065 Mai	CAM Services	Technical Service	10225 Main	Priore Photography	Photography
10189 Mai	Adventures in Heat	Grill, Gift Shop	10225 Main	Paula Dean Foods	Food Shop
10195 Mai	George Semko	Accountant	10225 Main	CSC	Financial Corporation

Figure 30. Center Corridor Comemrical Business List

Commercial/Business Inventory

In this section of Main Street there is dense number of commercial properties, ranging from, retail to service to food and beverage locations.

There are an estimated 92 businesses that are in operation:

- Consumer Services: 58 (63%)
- Food and Beverage: 10 (11%)
- Retail: 24 (26%)

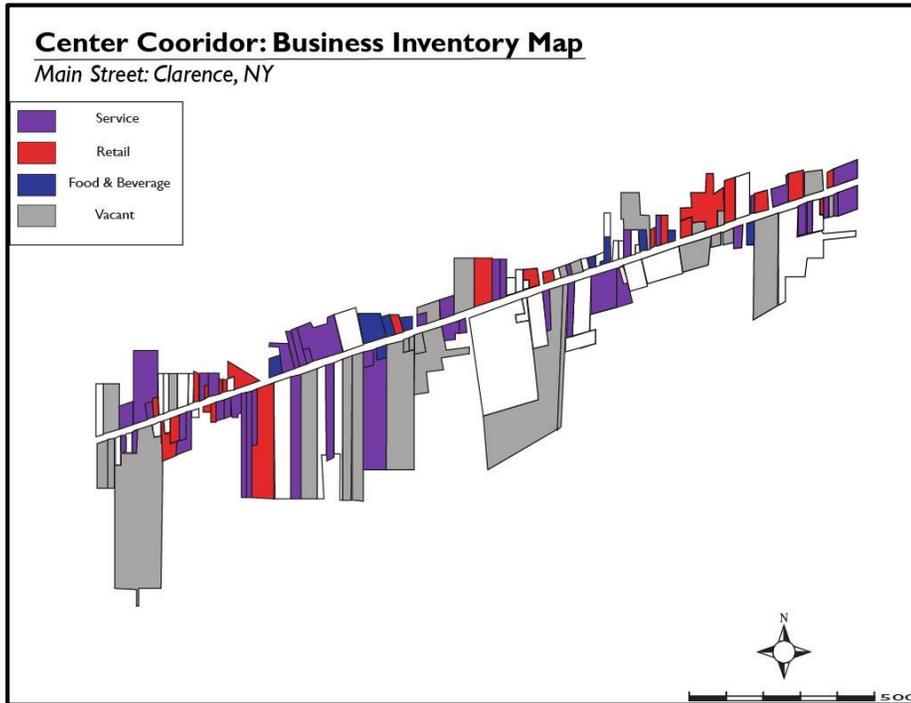


Figure 31. Center Corridor Business Inventory

Sewer Capacity

As seen in the map shown, none of the parcels along the Center Corridor are connected to a sewer district. This reality severely limits the amount of development that can ultimately take place in the commercial district.

However, the parcels highlighted in blue and grey represent surrounding sewer districts that may be able to be utilized in the future if extended to Main Street.

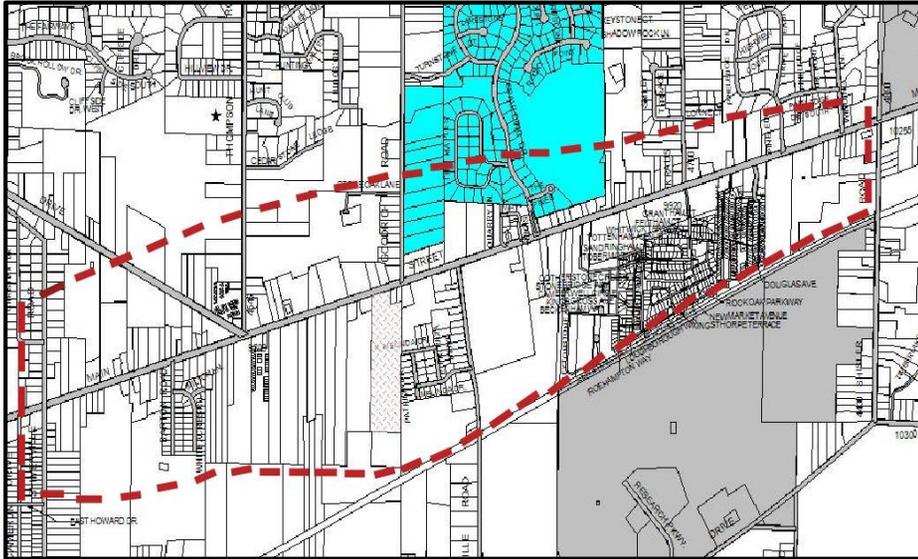


Figure 32. Center Corridor Sewer Capacity

Clarence Hollow Asset Inventory:

Study Area

The Clarence Hollow is a historical neighborhood located in the southeast portion of the Town of Clarence. The Clarence Hollow was settled in 1799 by Asa Ransom, which is believed to be the first prominent settlement in Erie County. In 1799, before the town had been established, Joseph Ellicott, an agent for the Holland Land Company, offered lots on old Buffalo Road to those who would build and operate taverns upon them. These lots were 10 miles apart and were sold at the company's lowest price of \$2 per acre on a long-term no interest basis. The first settler to take advantage of this offer was Asa Ransom a young silversmith from Geneva, New York, who became the Town's first resident. Ransom erected a spacious, two-story log house and tavern where he opened the Holland Land Company's land office in 1801. That spring he erected a sawmill on the banks of the creek that winds through Clarence Hollow and bears his name. He expanded his operations in 1803 by building a gristmill.

The Clarence Hollow boundaries are Shishler and Strickler to the west, and Davidson to the east with Main Street forming the core of the neighborhood. The distance from Shishler and Strickler Roads to the opposite end of Main and Davidson is approximately 1 ½ miles.



Figure 33. Clarence Hollow Study Area

Existing Zoning

Main Street in the Clarence Hollow is zoned as a Traditional Neighborhood District (seen in purple). The intent of a Traditional Neighborhood District (TND) is to require the usage of traditional neighborhood design criteria within the boundaries of the district in order to implement the principals of the Town's adopted Comprehensive Plan. This district is intended to achieve the following: provide incentives to encourage the adaptive reuse of existing structures; allow and encourage a mixture of uses and mixed-use structures; accomplish and continue a sense of community; provide a walkable, pedestrian-friendly environment; respect and preserve unique natural features within the district; provide design regulations that encourage compatible building arrangements, bulk, form, character and landscaping to establish a livable, harmonious and diverse environment; discourage the demolition of existing structures that possess significant historic or other essential elements that contribute to the character of the district; and create a small-town, historic-style business district that limits large scale out-of-character commercial developments.



Figure 34.

In the Traditional Neighborhood District the following uses are allowed as vested rights in facilities measuring no more than 10,000 square feet in gross area: Personal service shops; Small retail shops; Banks; Mixed-use buildings; Community facilities; Second-floor multifamily dwelling units; Professional offices; Diners or small restaurants; Churches; Single-family residences; and Two-family residences.

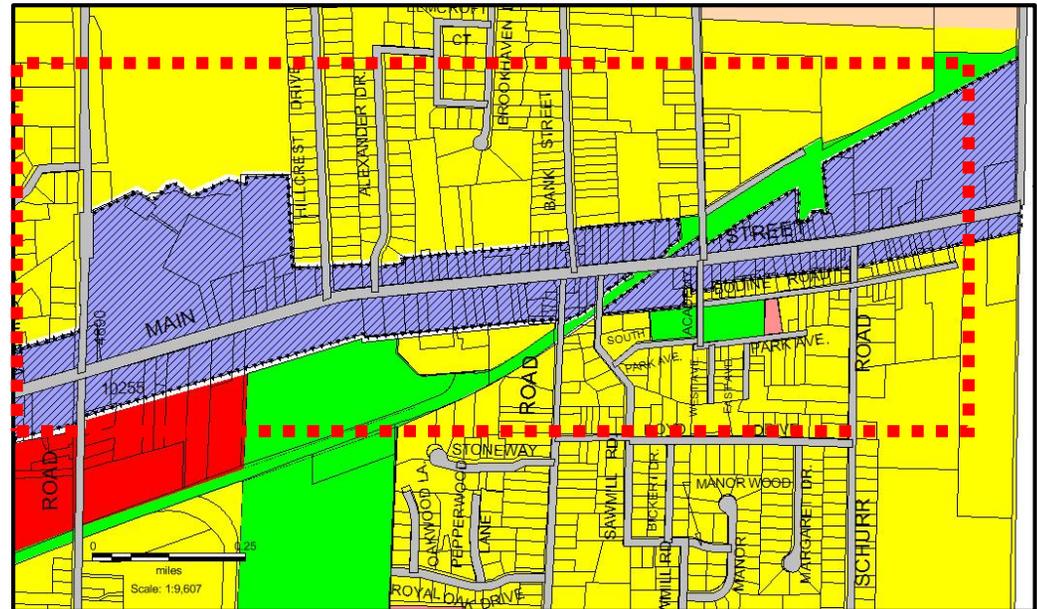


Figure 35. Clarence Hollow Zoning

Land Use

An inventory was taken of the different types of land uses that currently exist in the Clarence Hollow. This land use inventory differs from the above zoning map by specifying the type and location of each parcel's land usage.

- Along Main Street there are 63 parcels of residential, accounting for 50 percent of the land use. These parcels can include residential single family, and or multi-family housing. The 63 residential units are a mix of home owners, and renters.
- There are 40 parcels of commercial property, accounting for 30 percent of the land use. The 40 commercial properties consist of a wide range of uses including restaurants and bars, shopping centers and boutiques, office space, and personal service shops.
- 10 percent of the parcels are identified as Mixed-use buildings. Mixed use refers to a parcel that includes both commercial, and residential uses in one building.
- 5 percent of the parcels are identified as Community Facilities along Main Street. Community Facilities refers to uses such as churches, senior housing, fire stations, and museums.
- Under 8 percent of the parcels in the Hollow have been identified as vacant land, totaling 51.86 acres.
- The Town of Clarence owns the Town Park, and the Recreational Trail which runs through the heart of the Hollow.

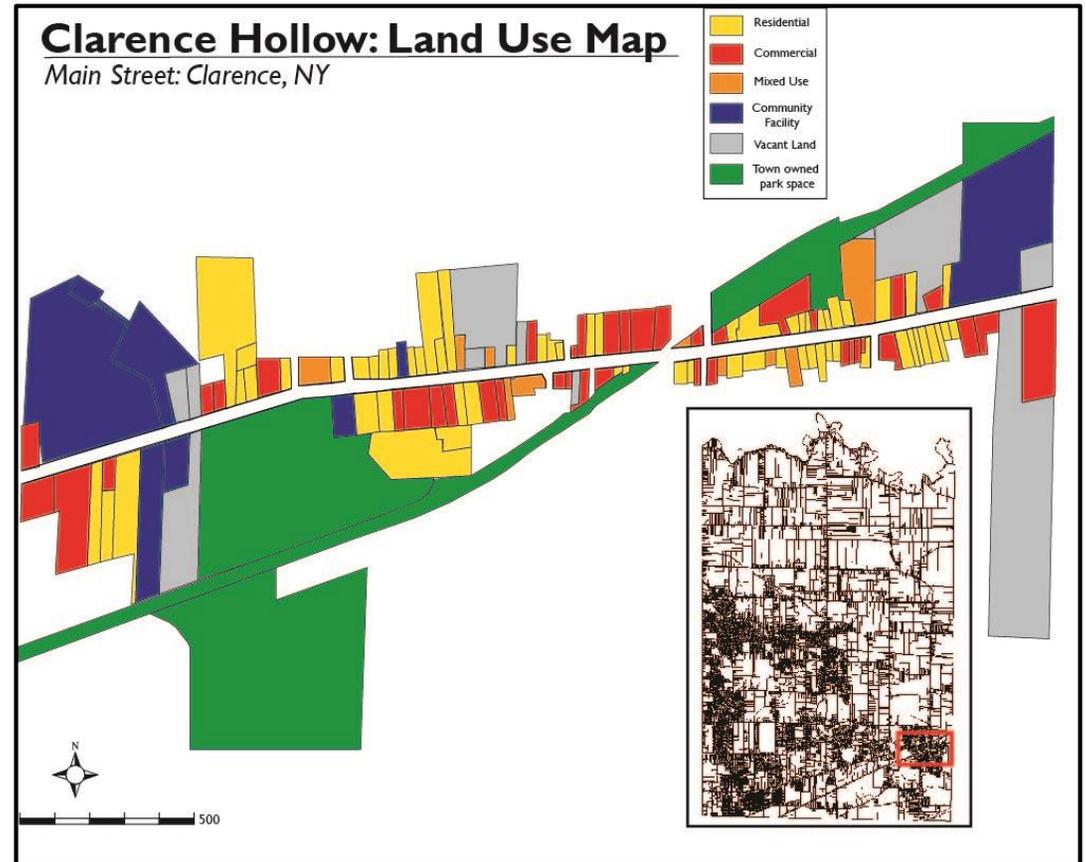


Figure 36. Clarence Hollow Land Use Map

Figure Ground

A Figure Ground Analysis visually represents the relationship between public spaces (white) and buildings (black). It is a useful tool when understanding where development occurs or can occur in a denser community.

- The highest density in the Clarence Hollow occurs from Alexander Road going east along Main Street to Schurr Road.
- The lowest density occurs west of Alexander Road to Strickler and Shisler Roads.
- The figure ground analysis shows small footprints of existing buildings along Main, with exception of two large community facilities.
- The figure ground analysis shows that the Clarence Hollow is near its maximum build out potential.
- A very high percentage of Main Street properties are built close to Main Street making it a pedestrian friendly area to eat, and shop.

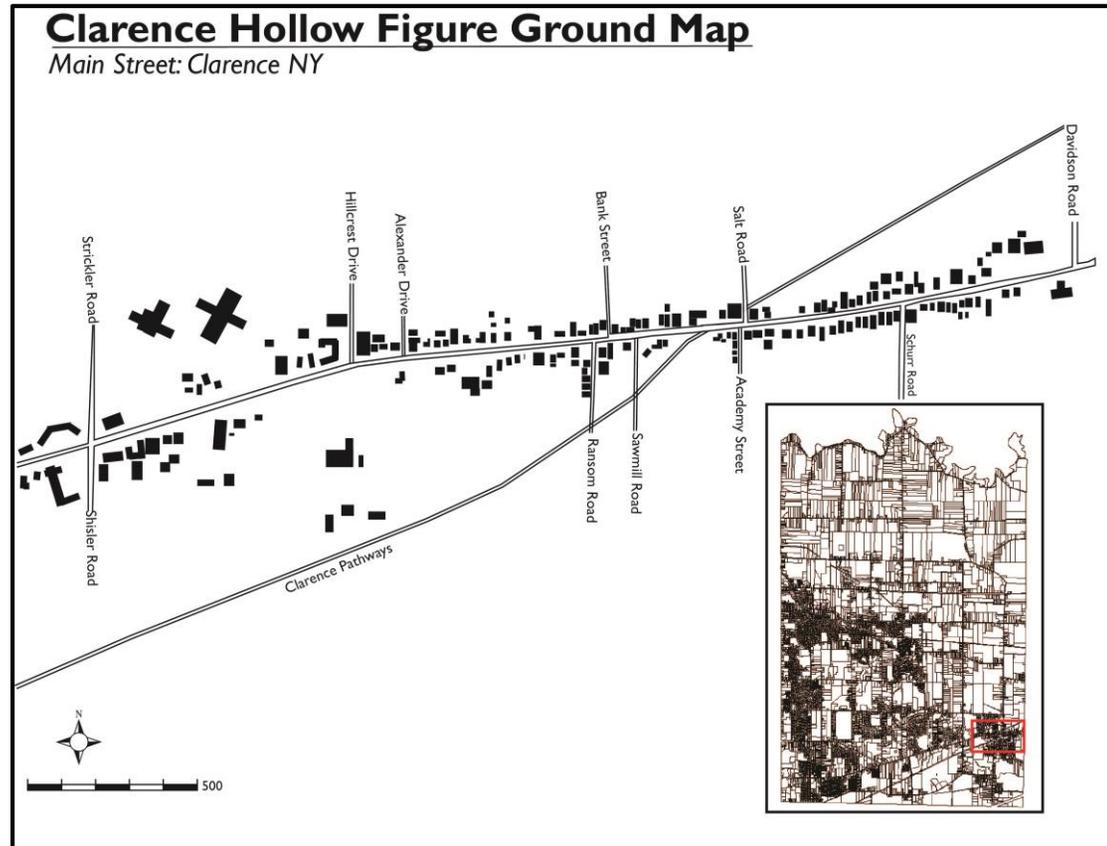


Figure 37. Clarence Hollow Figure Ground Map

Hollow Zones

For the Hollow Asset Inventory, the study area was broken up into five transportation zones showing major intersections.

Zone 1: Main and Shishler/Strickler – Main and Hillcrest

- Consist of several shopping centers, restaurants, community facilities, and the Town Park. Contains three vacant parcels, one of which can be targeted for future development, next to the town park.

Zone 2: Main and Hillcrest – Main and Ransom

- Consist of mainly residential properties, with a shopping center at the corner of Hillcrest. Also contains several historic properties including the Asa Ransom House.

Zone 3: Main and Random – Main and Academy

- Consist of mainly commercial businesses and community services, along with a couple of off street parking lots. The West Shore Trail leads into the Hollow Farmers Market parking lot, and picks up on the northern side of Main Street and Salt Road.

Zone 4: Main and Academy – Main and Schurr

- This zone becomes less dense than the previous zones, with the addition of some green space right up to Main Street. This zone consists of mainly residential properties, with a mix of smaller commercial businesses.

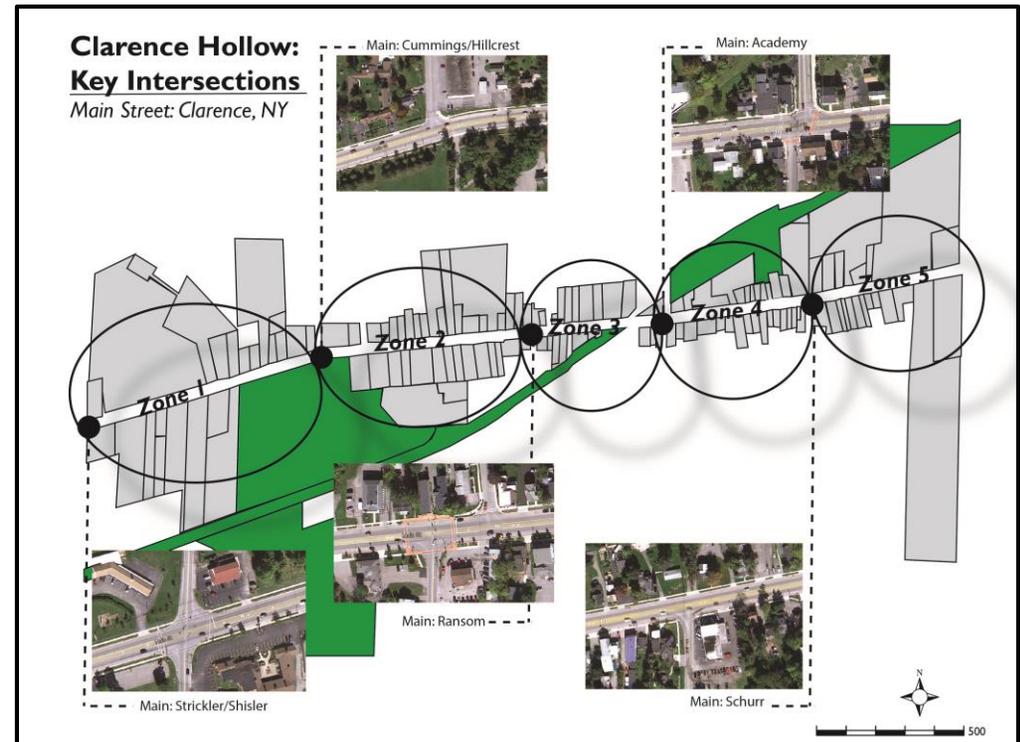


Figure 38. Clarence Hollow Key Intersections

Zone 5: Main and Schurr – Main and Davidson

- This is the least dense zone in the Hollow corridor, with the area containing mostly residential properties. There is a few commercial properties, along with a few vacant parcels that could be targeted for future development.

Transportation Network

Heavy Traffic- Main Street (Route 5) is a New York State Road with a speed limit of 45 MPH. There is one lane of traffic in each direction with a center turning lane. There is on street parking throughout most of Main Street in the Hollow.

Medium Traffic- There is several streets that ingress and egress from Main Street, which consist of a medium traffic flow. Strickler (45 MPH) and Shisler (35 MPH), Ransom (35 MPH), Salt (35 MPH), and Davidson (45 MPH) all are labeled as connector streets with medium traffic flow.

Light Traffic- Light traffic flow can be found on local streets, with a speed limit of 30 MPH. Hillcrest, Alexander (25 MPH), Bank, Sawmill (15 MPH), Academy, and Schurr, are all considered light traffic.

Pedestrian Sidewalks-There are adequate sidewalks along Main Street spanning the entire length of the Clarence Hollow. There is inadequate sidewalks, or lack of sidewalks on connector and local streets leading into Main Street.

Recreational Trail-The West Shore Trail which spans from Wehrle Drive beyond the Clarence town boarder. The recreational trail comes through the town park, and into the Clarence Hollow Farmers Market. The trail then picks up on the north east side of Main and Salt Road.

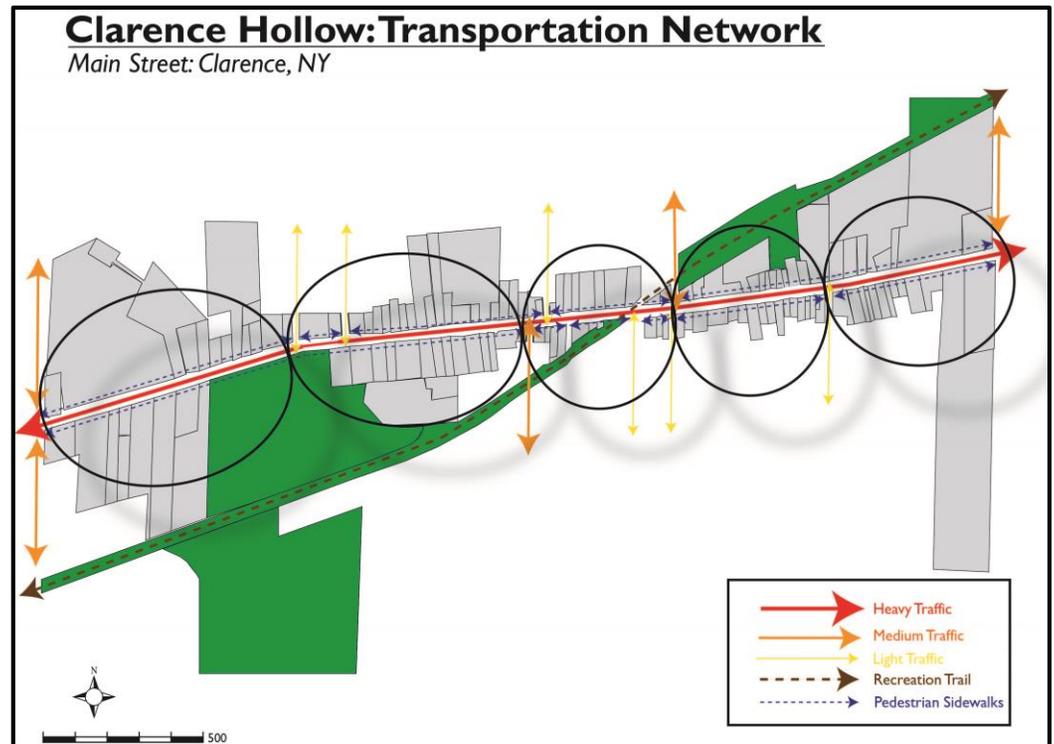


Figure 39. Clarence Hollow Transportation Network

Historic Properties

10405 Main Street: The Clubhouse, located on the grounds of the Clarence Town Park, is a large, multiple hipped roof, arts and crafts style country clubhouse designed by Esenwein & Johnson. The Clubhouse is a significant building in terms of its historical and architectural character and is actively utilized as a community center.

10465 Main Street: The Clarence Historical Museum is a significant as a rare mid-nineteenth century Greek Revival. It is located on property that was originally part of a 144 acre purchase by Asa Ransom in 1803.

10465 Main Street: The Landow Log Cabin is significant because of its age, type of structure, and condition. Serves as one of the best serving and accurately restored pioneer Yankee lob cabins in Erie County. The log cabin was moved on site of the museum site.

10529 Main Street: Asa Ransom house was built in 1853, and is significant architecturally and culturally. Asa Ransom, the “Founding Father” of Clarence built a mill on the site of his home, which is currently bed and breakfast that maintains the vibrant history and culture.

10622 Main Street: The Humbert House serves as a unique example of a classic Craftsman/Bungalow building type and further increases the aesthetic value of the Main Street section of the Clarence Hollow Neighborhood. Furthermore, the residence has been associated with the Humbert family, a group of prominent business and political figures within the community.

10748 Main Street: The Magoffin House named after a settler in the town, who was named supervisor in 1874. The house is an excellent example of an Italian variation structure, which compliments the historic value of the Hollow.

10768 Main Street: The West Shore Hotel is a rare surviving early nineteenth-century stone building. One of the oldest buildings in Erie County and the Town of Clarence. Significant for its historic use as a hotel, first run by William Spoor, who opened the hotel in 1813 in the midst of the War of 1812. Operating under a variety of names over the years, the hotel was a stop on the stage coach mail route until circa 1870 and served as a popular stop for rail travelers. Local lore includes a claim that three former US Presidents, Monroe, Fillmore and Cleveland, had stayed there.

10847 Main Street: The Schmidt Residence serves as a unique example of a Greek Revival building type and increases the aesthetic value of the Clarence Hollow Neighborhood. It is a 2 story front facing gable house, with wood clapboard.

10897 Main Street: The Brace House serves as a unique example of a classic colonial salt box building type and furthermore increases the aesthetic value of the Main Street section of the Clarence Hollow Neighborhood.

*Hollow Historic Designation Map can be seen on the following page.

Clarence Hollow: Historic Designation

Main Street: Clarence, NY

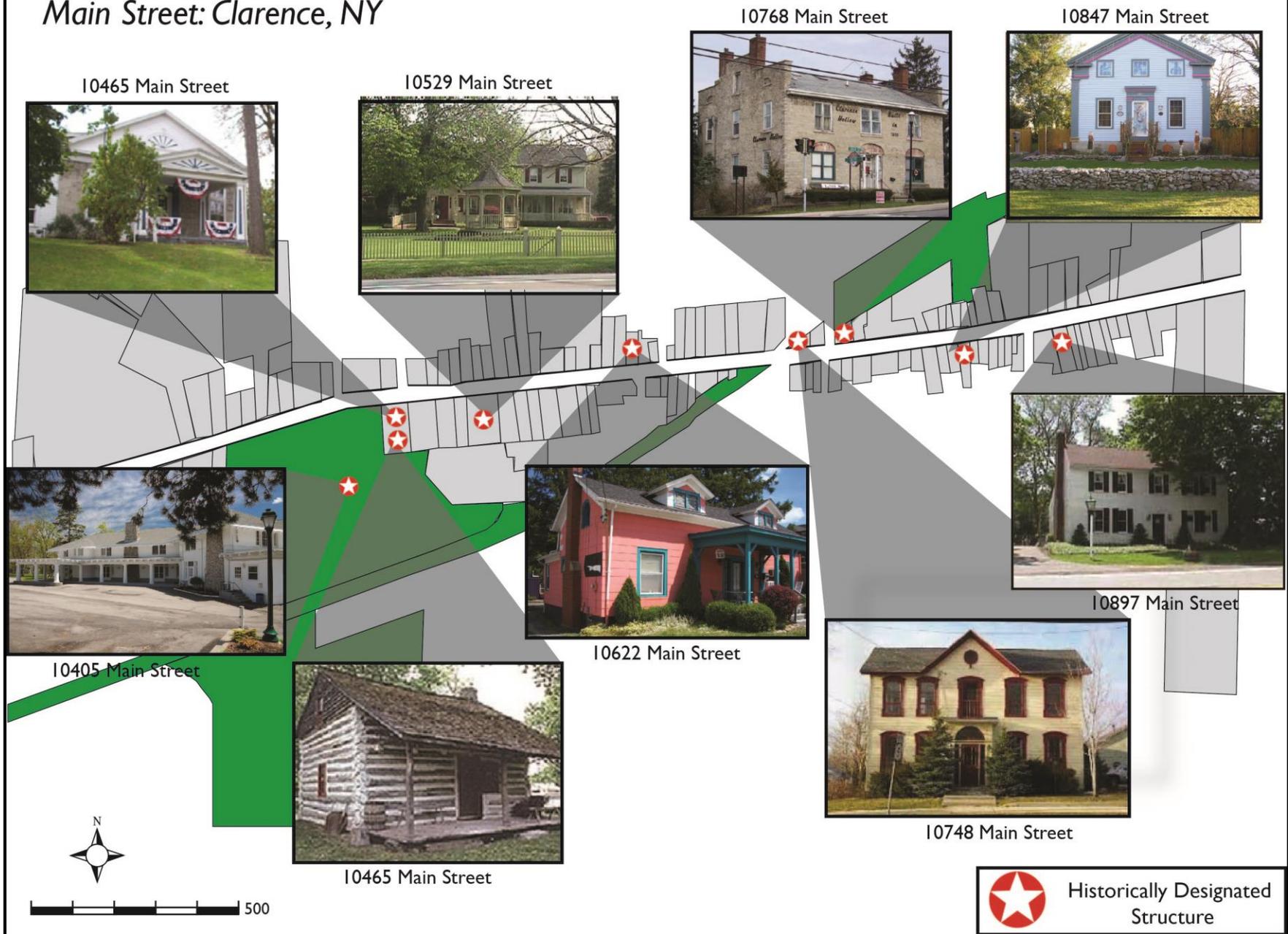


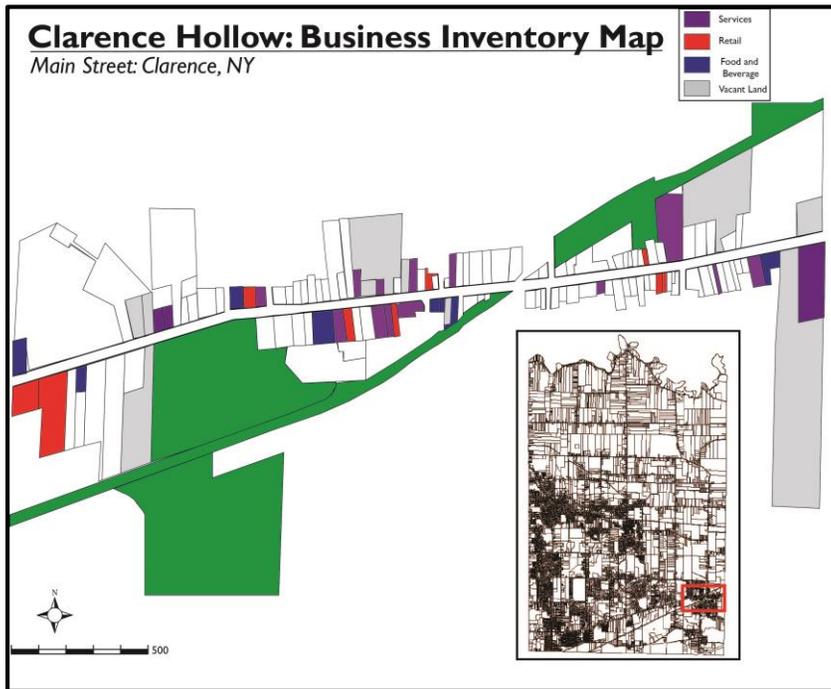
Figure 40. Clarence Hollow Historic Designation

Commercial Inventory

One of the strongest assets of the Clarence Hollow is the large number of diverse businesses within walking distance of surrounding residential streets. There is an estimated 34 businesses in the Clarence Hollow, which stretches over 1 ½ miles along Main Street.

The wide variety of businesses consists of restaurants, shops, personal services, and professional services. A breakdown of business types can be seen below.

- Consumer Services: 16 (47%)
- Food & Beverage: 9 (26%)
- Retail: 9 (26%)



Address	Business Name	Type of Business
10250 Main	Clarence Grille	Bar/Restaurant
10255 Main	Clarence Courtyards	Shopping Center
10295 Main	Don George's	Motor sales and service
10295 Main	The Family Chocolate Shoppe	Chocolate and Gift Shop
10325 Main	Gianni Mazia's Pizza	Restaurant
10346 Main	General Dentist	Dentist office
10350 Main	Coachman's Corner	Real Estate Office
10440 Main	Barron & Associates P.C.	Engineering Firm
10440 Main	Town & Country Gifts	Gift Shop
10446 Main	Clarence Country Doughnuts	Restaurant
10452 Main	Patty Hughes Decorating Den Interiors	Office
10529 Main	Asa Ransom	Bed and Breakfast
10535 Main	Campbell, Bolas & Assoc., LLP Attorneys	Office
10545 Main	Museum of European Art	Art Gallery
10560 Main	Robert Sillars	Law Office
10575 Main	Citgo	Gas Station
10580 Main	Spa Hollow	Spa
10589 Main	Multi Use Office	Office
10593 Main	Dkd Studio	Jewelry & Fine Gifts
10611 Main	Massaro Cleaners	Dry Cleaner
10614 Main	M&T Bank	Bank
10626 Main	Cozy Fireplaces	Sales and service
10633 Main	Clarence Deli	Deli - Restaurant
10641 Main	Hollow Bistro and Brew	Restaurant
10651 Main	Cornerstone Bar & Grill	Restaurant
10654 Main	Prosthetic Home Services Inc.	Office
10803 Main	Henderson Architect	Architecture Firm
10863 Main	Clarence County Store	General Store
10867 Main	Olde County Store	Antique Shop
10882 Main	Specialized Care for Avian & Exotic Pets	Veterinary care
10911 Main	Heirloom Photography by Shirley	Photography studio
10939 Main	Grainy's Automotive	Auto repair
10971 Main	Royal Pizza & Italian Bistro	Restaurant
11145 Main	Kelly Schultz Antiques	Antique Shop

Figure 41. Clarence Hollow Business Inventory Map Figure 42. Clarence Hollow Business Inventory List

**Estimate of Hollow businesses, not approximate.*

Commercial Inventory

As listed above, an estimated 34 businesses make up the character of the Clarence Hollow. There is roughly 10 parcels with Main Street frontages that are assessed as vacant properties, and or for sale. By identifying these vacant parcels, and where existing commercial is located, we can determine what properties are shovel ready for development.

- There are 3 vacant parcels are currently used for parking, by adjacent property owners, which would be labeled as non-shovel ready.
- 1 vacant parcel is owned by the Town of Clarence, adjacent to the town park.
- 7 of the 10 total parcels with Main Street frontages in the Clarence Hollow can be labeled as shovel ready parcels.
- The 7 vacant shovel ready parcels make up roughly 48.27 acres.
- Zone 5 has the highest vacancy count with 4 total parcels with one being used as a parking lot.

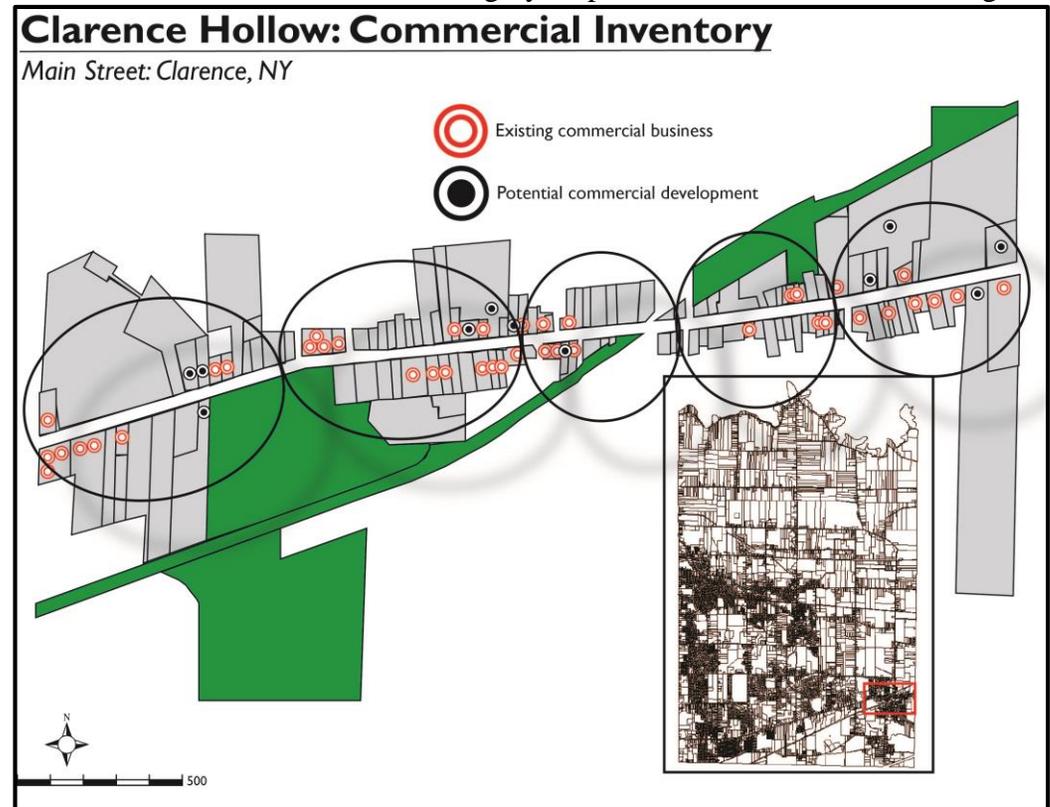


Figure 43. Clarence Hollow Commercial Inventory

Sewer Capacity

To understand which of the vacant parcels are ready for shovel ready development, and what capacity of development can occur, a sewer map is important.

- 7 of the 10 vacant parcels are located within a sewer district.
- Most of the Clarence Hollow is under Clarence Sewer District 9 (brown).
- A few parcels at Main and Strickler fall under Erie County Sewer District 5 (grey).
- 5 parcels are vacant (not used for parking) and are located within a sewer district (located in the red star).



Figure 44. Clarence Hollow Sewer Capacity