



C1.1 Location Map



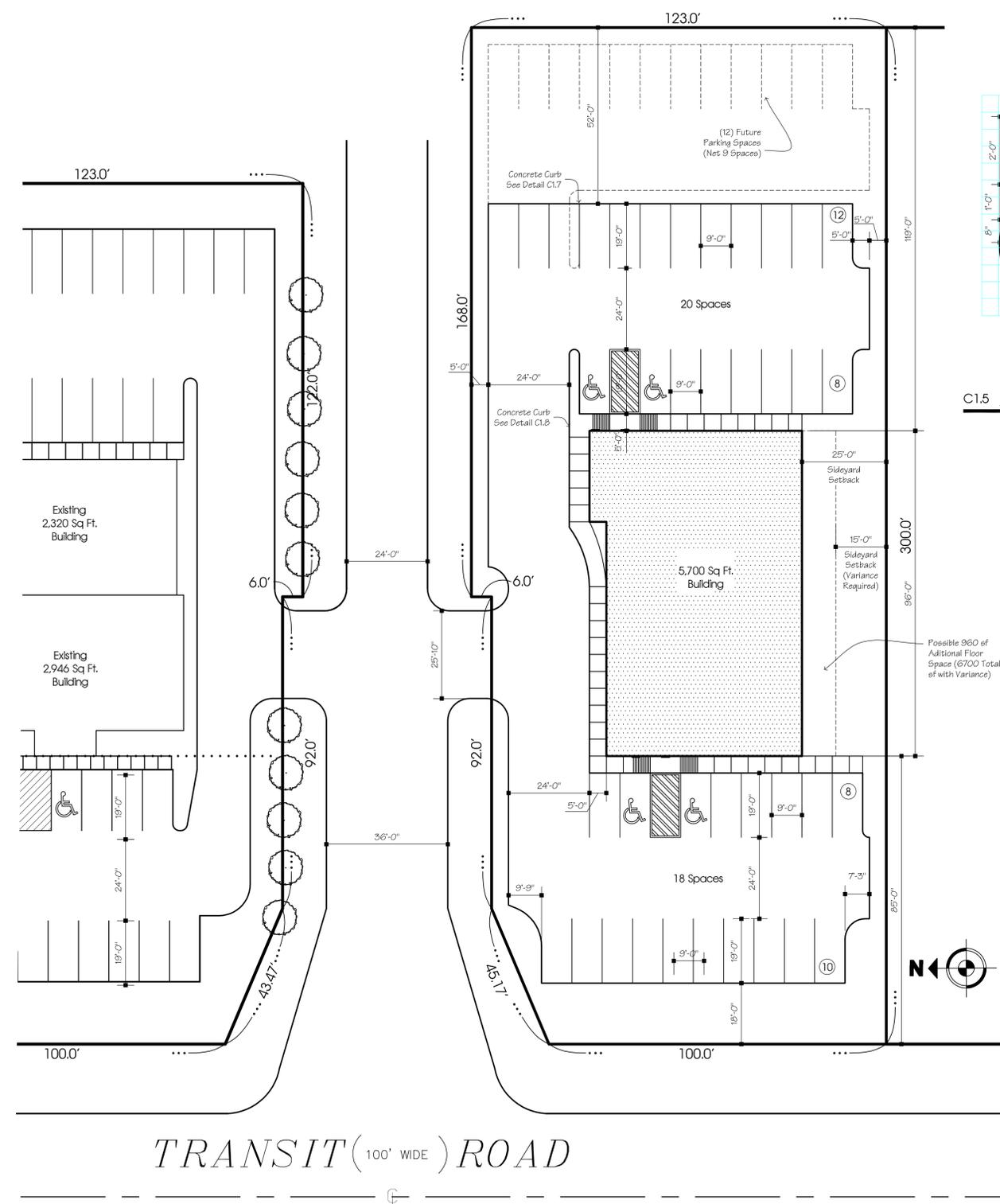
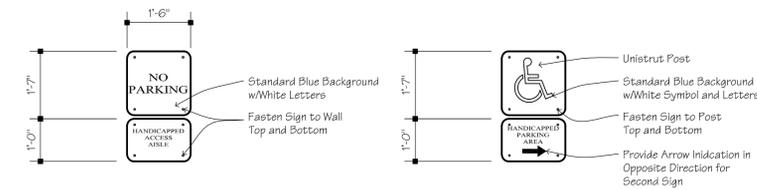
C1.2 Aerial Map

GENERAL SITE NOTES:

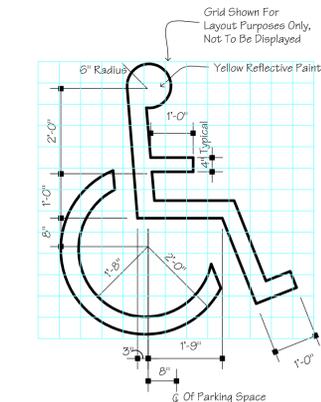
- The Contractor shall coordinate with utility companies prior to beginning work.
- Underground utilities are shown according to the best information made available to us and in appropriate location only. Location is subject to verification prior to construction.
- CAUTION:** Underground utilities including, but not limited to electric, telephone, gas, water, sanitary sewer and storm sewer are reportedly in the vicinity of this project. Every precaution should be taken during excavation. New York state law requires notification of each utility company two full working days prior to commencement of work.
- Coordinate the location of all utilities with foundations, subsurface utilities locations, locations of existing utility valves and authorities having jurisdiction over each utility.
- Contractor shall use extreme caution to protect all existing trees and vegetation, and all areas outside the project limits.
- Any damage to the existing utilities, buildings, paving, curbs, walls and vegetation (not so designated for removal on these plans) shall be repaired to the previous condition or replaced in kind by the contractor at his own expense.
- Blend all new grades to existing grades. Slope finished grade for positive drainage away from the building.
- Notify and obtain all required permits from each utility service required. Coordinate required inspections, testing and certifications by authority having jurisdiction over each utility service. The contractor is responsible for all filing, testing, inspections and associated fees with each utility.
- The Contractor shall comply with the Town of Cheektowaga standard drawings and specifications.
- The Contractor shall immediately notify the project engineer and the Town of Cheektowaga Engineering Department of any hazardous substance encountered during the construction of the work. He shall, at his expense, conform to all laws, rules, regulations and directions, as promulgated by the United States Department of Labor, Occupational Safety and Health Administration, the New York State Department of Health and any such local rules, ordinances and laws when encountering or working with any such hazards.

- Notify the Erie County Water Authority at least 48 hours in advance of the start of construction. All existing valves are to be operated by Erie County Water Authority.
- The contractor shall appose existing utilities ahead of the pipe-laying operation, so that, if minor adjustments must be made in elevation and/or alignment due to the interference from these utilities, said changes can be made in advance of the work.
- Unsuitable materials such as frozen organic and/or vegetable material, debris, trees, lumber, large stones or clogs (6.0' or larger), muck, peat, organic silt will not be acceptable fill and certain man-made deposits of industrial waste, sludge or landfill may also be determined as unsuitable hazardous material.
- The composition of all materials will occur at 4' increments.
- Should a fluid condition be encountered at the trench bottom, the Contractor is to install additional stone croses as ordered by the Engineer.
- All pipe crossing under paved areas are to be backfilled to subgrade with compacted select material to five (5) feet outside the pavement edges.
- The Contractor shall retain the services of a qualified tree expert to remove where necessary, branches which interfere with the construction operation, or repair trees having suffered damage by construction activities. The cost involved in the above is to be included in the various items of the contract.
- Notify and obtain all required permits from each utility service required. Coordinate required inspections, testing and certifications by authority having jurisdiction over each utility service. The contractor is responsible for all filing, testing, inspections and associated fees with each utility.
- The Contractor shall comply with the Town of Cheektowaga standard drawings and specifications.
- The Contractor shall immediately notify the project engineer and the Town of Cheektowaga Engineering Department of any hazardous substance encountered during the construction of the work. He shall, at his expense, conform to all laws, rules, regulations and directions, as promulgated by the United States Department of Labor, Occupational Safety and Health Administration, the New York State Department of Health and any such local rules, ordinances and laws when encountering or working with any such hazards.

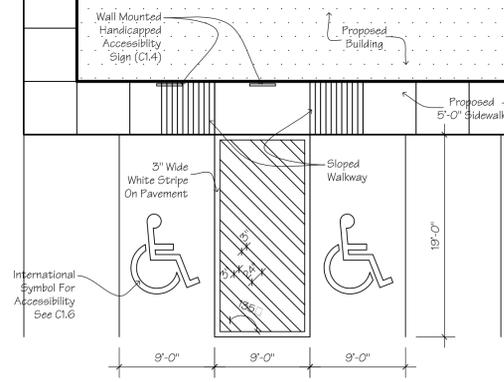
C1.4 H.C. Signage Detail



C1.3 Site Plan



C1.5 H.C. Symbol Detail



C1.6 H.C. Parking Detail

Yard	Structure		Parking	
	Actual	Allowable	Actual	Allowable
Front	85'-0"	80'-0"	18'-0"	5'-0"
Side	25'-0"	25'-0"	5'-0"	5'-0"
Rear	119'-0"	25'-0"	52'-0"	5'-0"

Building Height: 45'-0" Max

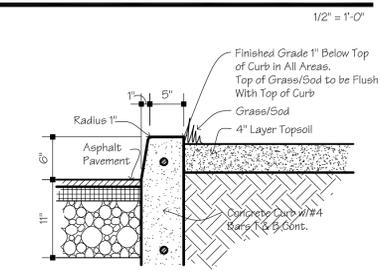
Max Lot Coverage: All principal buildings, accessory structures, and impervious surfaces located on a commercial district property may not exceed 70% of the gross area of the lot

Off Street Parking: Retail Space - Minimum 1 Space Per 150 sq.ft.
5,700 S.F. (Gross) Per 150 sq.ft. = 38 Spaces
Total Spaces On Site = 38 Spaces

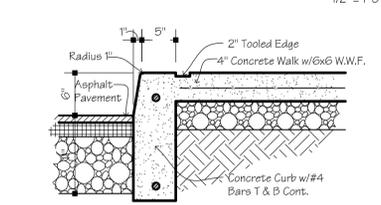
Required Accessible Parking Spaces:
1 - 50 Total Spaces Requires: 1 H.C. Space
38 Total Spaces = 4 Spaces Provided

NOTES:
36.4 % of the total ground area is or will be landscaped with deciduous and conifer trees, deciduous and conifer shrubs, ground cover and grass.
63.6 % Lot Coverage Total

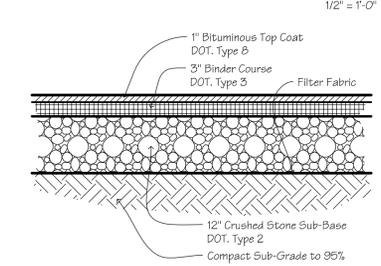
Land Use	Area	Percentage
Total Area	35,768 s.f.	100%
Buildings	5,700 s.f.	16.0%
Sidewalk	1,266 s.f.	3.5%
Paved Area	15,773 s.f.	44.1%
Green Space	13,029 s.f.	36.4%



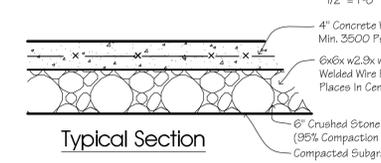
C1.7 Curb @ Landscaping



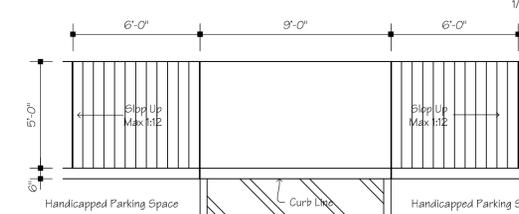
C1.8 Curb @ Sidewalk



C1.9 Paving Detail



C1.10 Concrete Detail



C1.11 Sloped Walkway Detail



3284 Walden Avenue
Depew, New York 14243
(716)651-0381 Fax 651-0382

Job Number:
09-440

Proposed
New Building
For:
**Buffalo
Pharmacy**
6051 Transit Road
Clarence, NY
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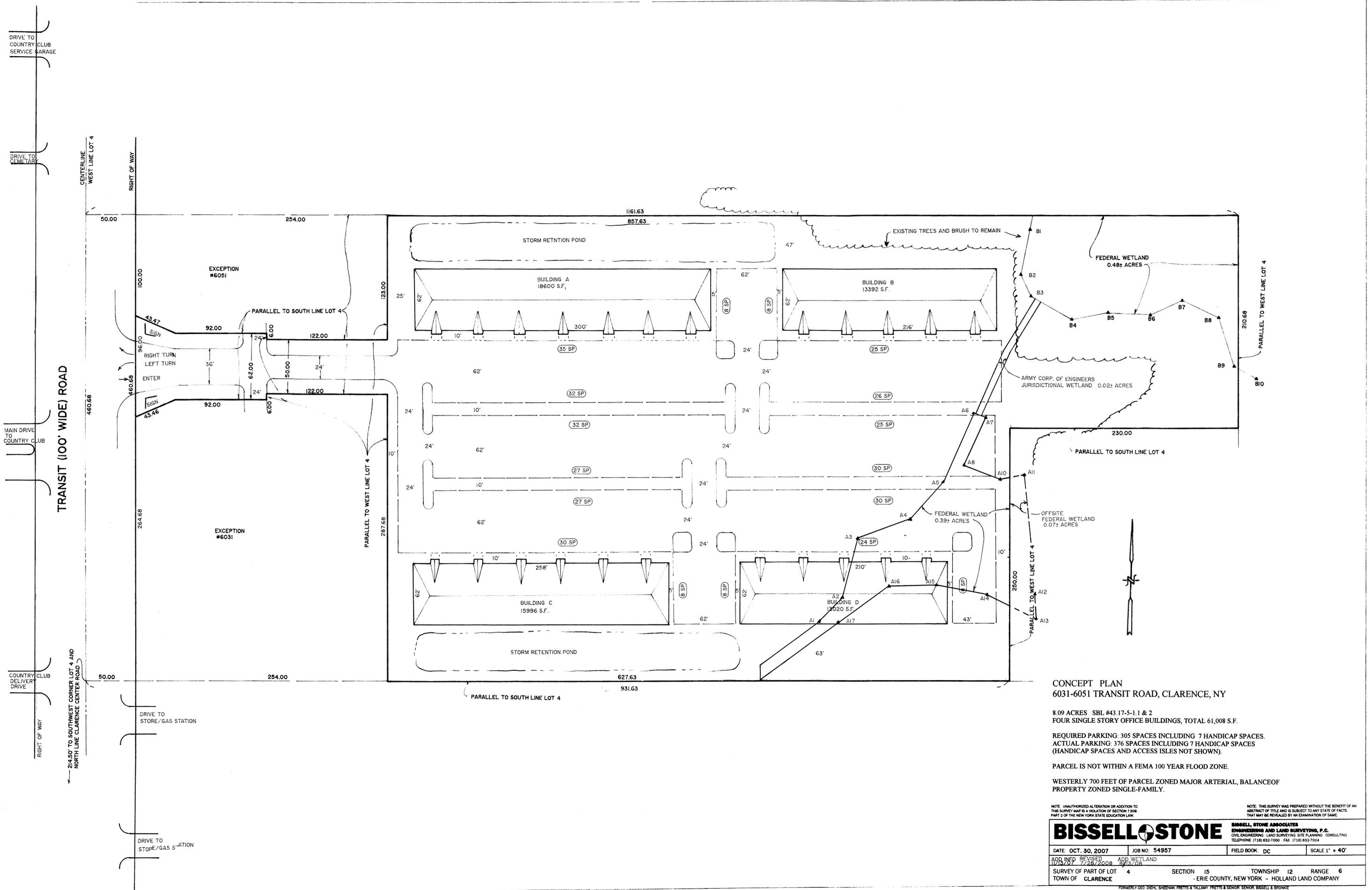
No.	Description	Date	By

WARNING:
It is a violation of Article 147, Section 7503 of the New York State Education Law for any person to alter an item, in any way, on this document, unless under the direction of a licensed Architect.

Title:
Site Plan

Drawn By:
M. Berger
Date:
04/15/10
Checked:
D. Sutton
Scale:
1/4" = 1'-0"

Sheet No.:
C-1



CONCEPT PLAN
6031-6051 TRANSIT ROAD, CLARENCE, NY

8.09 ACRES SBL #43.17-5-1.1 & 2
 FOUR SINGLE STORY OFFICE BUILDINGS, TOTAL 61,008 S.F.

REQUIRED PARKING: 305 SPACES INCLUDING 7 HANDICAP SPACES.
 ACTUAL PARKING: 376 SPACES INCLUDING 7 HANDICAP SPACES
 (HANDICAP SPACES AND ACCESS ISLES NOT SHOWN).

PARCEL IS NOT WITHIN A FEMA 100 YEAR FLOOD ZONE.

WESTERLY 700 FEET OF PARCEL ZONED MAJOR ARTERIAL, BALANCE OF
 PROPERTY ZONED SINGLE-FAMILY.

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, PART 2 OF THE NEW YORK STATE EDUCATION LAW.

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SAME.

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 CIVIL ENGINEERING - LAND SURVEYING - SITE PLANNING - CONSULTING
 TELEPHONE: (716) 632-7000 FAX: (716) 632-7004

DATE: OCT. 30, 2007	JOB NO: 54957	FIELD BOOK: DC	SCALE 1" = 40'
ADD. INFO. REVISED 11/13/07 7:28/2008 B/13/08	ADD. WETLAND		
SURVEY OF PART OF LOT 4		SECTION 15	TOWNSHIP 12 RANGE 6
TOWN OF CLARENCE		- ERIE COUNTY, NEW YORK - HOLLAND LAND COMPANY	

FORMERLY GEO. DEBIL, SHEPHERD PRETIS & TALLAMY, PRETIS & SENIOR, SENIOR, BISSELL & BRONCO
 DESIGN SYSTEM COLLABORATIVE: THE BISSELL CO.

CLARENCE CENTER ROAD