

NOTES:  
 ALL IMPROVEMENTS WILL BE INSTALLED UNDER TOWN PERMITS WITH ALL PLANS CONSISTANT WITH PRELIMINARY PLAT  
 THE COMMON AREAS SHOWN ON THIS MAP ARE INTENDED FOR THE COMMON USE AND ENJOYMENT OF THE RESIDENTS WITHIN THE SUBDIVISION AND ARE NOT INTENDED FOR THE USE OF THE GENERAL PUBLIC AS PROVIDED IN THE "CREEKWOOD MEADOWS SUBDIVISION" HOMEOWNERS DECLARATION RECORDED OR TO BE RECORDED IN THE ERIE COUNTY CLERK'S OFFICE.  
 PUBLIC DRAINAGE EASEMENTS SHALL BE GRANTED TO THE TOWN OF CLARENCE. NO STRUCTURES, PLANTINGS OR OTHER MATERIALS SHALL BE PLACED OR BE PERMITTED TO REMAIN WHICH MAY DAMAGE OR OTHERWISE INTERFERE WITH OR CHANGE THE FLOW OF DRAINAGE CHANNELS, SWALES AND/OR FACILITIES IN THE DRAINAGE EASEMENTS.  
 PRIVATE DRAINAGE EASEMENTS SET FORTH ON THE SUBDIVISION MAP ARE FOR THE BENEFIT OF THE OWNERS OF THE PROPERTY WITHIN THE SUBDIVISION AND THE BENEFIT DERIVED FROM THESE EASEMENTS IS FOR THE PROPERTY ONLY AND THE TOWN OF CLARENCE ASSUMES NO RESPONSIBILITY FOR MAINTENANCE THEREOF.  
 SANITARY SEWER EASEMENTS SHOWN ON THIS SUBDIVISION MAP SHALL BE GRANTED TO ERIE COUNTY SEWER DISTRICT No. 5.

AREAS:  
 WITHIN SUB LOTS: 9.388 ± Acres  
 WITHIN COMMON AREAS: 11.198 ± Acres  
 WITHIN PRIVATE DRIVE: 1.032 ± Acres  
 TOTAL AREA: 21.618 ± Acres

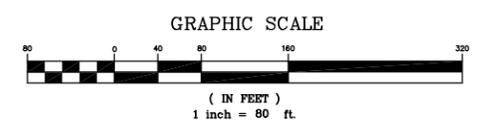
△ INDICATES MINUMENT TO BE INSTALLED BY THE DEVELOPER.

MINIMUM HOUSE SETBACK - SEE TABLE

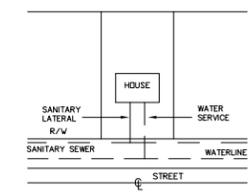
SUBJECT TO SANITARY SEWER EASEMENT GRANTED TO ERIE COUNTY SEWER DISTRICT No. 5 FILED IN THE ERIE COUNTY CLERK'S OFFICE UNDER LIBER PAGE

SUBDIVISION MAP OF  
**Creekwood Meadows Subdivision**  
 TOWN OF CLARENCE, ERIE COUNTY, NEW YORK  
 BEING PART OF LOT 3, SECTION 15, TOWNSHIP 12, RANGE 6, HOLLAND LAND SURVEY

**GREENMAN-PEDERSEN, INC.**  
**CONSULTING ENGINEERS**  
 ENGINEERING • SURVEYING • PLANNING  
 SURVEYING SERVICES PERFORMED BY GPI ENGINEERING AND SURVEYING LLP  
 4950 GENESEE STREET SUITE 165 BUFFALO, NY 14225  
 (716) 633-4844 FAX (716) 633-4940



SANITARY SEWER FACILITIES, EXISTING AND PROPOSED, AND WATER SUPPLY FACILITIES, EXISTING AND PROPOSED, SHOWN ON THIS SUBDIVISION MAP ARE FOR THE PURPOSE OF COMPLIANCE WITH NEW YORK STATE REALTY SUBDIVISION LAW. C.P.I. ENGINEERING AND SURVEYING, L.L.P. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SANITARY SEWER AND WATER FACILITIES SHOWN ON THIS MAP OR FOR THE APPROVAL, CONSTRUCTION OR ACCEPTANCE BY APPROPRIATE GOVERNMENT AGENCIES OF SAID FACILITIES.



**BASEMENT TYPES**

LOT 1	TRADITIONAL	LOT 14	TRADITIONAL
LOT 2	TRADITIONAL	LOT 15	TRADITIONAL
LOT 3	TRADITIONAL	LOT 16	TRADITIONAL
LOT 4	TRADITIONAL	LOT 17	TRADITIONAL
LOT 5	TRADITIONAL	LOT 18	TRADITIONAL
LOT 6	TRADITIONAL	LOT 19	TRADITIONAL
LOT 7	TRADITIONAL	LOT 20	TRADITIONAL
LOT 8	TRADITIONAL	LOT 21	TRADITIONAL
LOT 9	TRADITIONAL	LOT 22	TRADITIONAL
LOT 10	TRADITIONAL	LOT 23	TRADITIONAL
LOT 11	TRADITIONAL	LOT 24	TRADITIONAL
LOT 12	TRADITIONAL	LOT 25	TRADITIONAL
LOT 13	TRADITIONAL	LOT 26	TRADITIONAL

**MINIMUM HOUSE SETBACKS FROM EDGE OF PRIVATE DRIVE**

FRONT DRIVE	SIDE DRIVE	FRONT DRIVE	SIDE DRIVE
LOT 1 25.0'	LOT 14 25.0'	LOT 1 25.0'	LOT 14 25.0'
LOT 2 25.0'	LOT 15 25.0'	LOT 2 25.0'	LOT 15 25.0'
LOT 3 25.0'	LOT 16 25.0'	LOT 3 25.0'	LOT 16 25.0'
LOT 4 25.0'	LOT 17 25.0'	LOT 4 25.0'	LOT 17 25.0'
LOT 5 35.0'	LOT 18 25.0'	LOT 5 35.0'	LOT 18 25.0'
LOT 6 25.0'	LOT 19 25.0'	LOT 6 25.0'	LOT 19 25.0'
LOT 7 25.0'	LOT 20 25.0'	LOT 7 25.0'	LOT 20 25.0'
LOT 8 35.0'	LOT 21 25.0'	LOT 8 35.0'	LOT 21 25.0'
LOT 9 35.0'	LOT 22 25.0'	LOT 9 35.0'	LOT 22 25.0'
LOT 10 35.0'	LOT 23 25.0'	LOT 10 35.0'	LOT 23 25.0'
LOT 11 25.0'	LOT 24 25.0'	LOT 11 25.0'	LOT 24 25.0'
LOT 12 25.0'	LOT 25 25.0'	LOT 12 25.0'	LOT 25 25.0'
LOT 13 30.0'	LOT 26 25.0'	LOT 13 30.0'	LOT 26 25.0'

BENCHMARK:  
 RM 34 - FEMA MAP 360232 113 C  
 TOP OF HYDRANT AT SOUTHWEST CORNER CLARENCE CENTER RD. AND NEWHOUSE RD.

SEE SURVEY PREPARED BY PRATT & HUTH ASSOCIATES,  
 JOB No.: 2827, DATED AUGUST 19, 2002, REVISED SEPTEMBER 26 2006

RICHARD A. HUTH, L.S.  
 NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

OWNER'S CONSENT FOR FILING: \_\_\_\_\_ DATE: \_\_\_\_\_  
 APPROVED BY THE TOWN OF CLARENCE PLANNING BOARD: \_\_\_\_\_  
 CHAIRPERSON: \_\_\_\_\_ DATE: \_\_\_\_\_  
 FILED IN THE ERIE COUNTY CLERK'S OFFICE UNDER: \_\_\_\_\_  
 MAP COVER: \_\_\_\_\_ DATE: \_\_\_\_\_

JOB No.: 2006003 DATE: MARCH 9, 2010

RECEIVED

617.20  
Appendix B  
Short Environmental Assessment Form

JAN - 11, 2016

**Instructions for Completing**

**ZONING OFFICE**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>				
Name of Action or Project: Creekwood Meadows				
Project Location (describe, and attach a location map): Toll Road and Newhouse Road, Town of Clarence, NY (SBL 57.10-3-1.1)				
Brief Description of Proposed Action: Applicant seeks the necessary approvals and/or permits to develop and construct a residential development located at the northeast corner of Roll Road and Newhouse Road on a 21.6+/- acre parcel in the Town of Clarence, NY. The proposed development will consist of 30 single family detached homes on a proposed private drive connecting to Roll Road. Additional work will include all supporting site infrastructure for the development. The proposed project ("action") includes all discretionary approvals and/or permits from the Town of Clarence and involved agencies.				
Name of Applicant or Sponsor: Natale Building Corp.		Telephone: (716) 580-3318	E-Mail:	
Address: 9159 Main Street				
City/PO: Clarence	State: NY	Zip Code: 14031		
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Site will require approval from Clarence Planning Board, Erie County Health Department for water and sewer connections			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		21.6+/- acres		
b. Total acreage to be physically disturbed?		8.5+/- acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		21.6+/- acres		
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other (specify): Vacant Land <input type="checkbox"/> Parkland				



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ Small stormwater detention facilities will be located on site to reduce impacts of storm water runoff.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Natalie Bartelby Corp</u>		Date: <u>1/8/16</u>
Signature: <u>[Signature]</u> (FOR APPLICANT)		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**

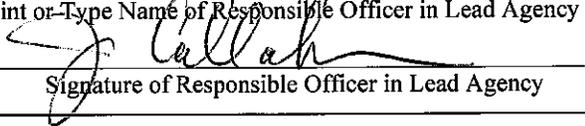
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: _____ Date: _____		
Signature: _____		

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	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Clarence Town Board	April 2016
_____ Name of Lead Agency	_____ Date
James Callahan	Director of Community Development
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
 Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

**PRINT**

T.B.  
Meeting  
11-1-06

A Public Hearing was held to consider the request for Concept Plan Approval for a 26-Lot Open Space Design Subdivision north of Roll Road, west of Newhouse Road.

James Callahan said the property consists of approximately 21.96 acres zoned Residential Single Family. It is located within Erie County Sewer District No. 5. The project has received a Negative Declaration under SEQRA. The Planning Board forwarded recommendation for approval with conditions. A Public Hearing is required prior to Concept Approval according to the Subdivision Law.

Sean Hopkins, Attorney representing the applicant said they are proposing an Open Space Design Development. It allows clustering, and less of the project site to be developed. They propose to leave 50% of the site as open space. The Gott Creek corridor is left in tact. They have preserved the open space along Roll Road. The infrastructure for roads and utilities will be privately maintained. The 11 acres will be owned by the homeowners association with deed restrictions filed at the Erie County Clerk's office. The Town of Clarence would also have enforcement rights on the conservation easement. They feel they have addressed all of the issues and presented a good project.

Mr. Hopkins said the location of the private roadway has been moved approximately 80 ft. east so as not to be in conflict with the road on the south side of Roll Road. There will be adequate water pressure to the site. The proposal is consistent with the Town Board's density determination. It is 26 detached single family homes on individual lots.

Councilman Casilio asked the Town Engineer if this would fall under the new fire hydrant requirement of 600 ft. Mr. Latona said he believes it will and it will be part of his review.

Councilman Weiss asked if there is documentation for adequate sewer capacity. Rob Pidanick, Greenman-Pedersen said the project site is within Erie County Sewer District No. 5 and there is capacity. They will extend a gravity sewer to serve the site. Erie County Sewer District No. 5 will have to review and approve the capacity for the project design. That is a next step of the approval process. Mr. Cimato added that it is underway.

Councilman Bylewski said he has heard that there may be issues regarding the delineation of the wetlands. Sean Hopkins said all wetlands are under the jurisdiction of the Army Corp of Engineers. There are no New York State wetlands on the site. The only impact that they are proposing is the road crossing. The wetland delineation report has been submitted and reviewed by the Army Corp of Engineers. They have done an onsite visit, but have not released a final determination. Mr. Hopkins said he hopes to receive it prior to them coming back for Development Plan Approval.

T.B.  
Meeting  
11/1/06

Councilman Bylewski said it was previously discussed to extend the sewer line across from Loch Lea. There are residents along Roll Road that would like to tie into a sewer system. Mr. Hopkins said the gravity sewer will be deep enough for the Town or Erie County to extend the line westerly to service others. The applicant is also willing to size the pipe to allow for additional extension for the future.

Councilman Kolber commended them for bringing in a project with everything that the Town is looking for. His only concern is homeowner encroachment into the conservation easement area. We have had problems with this in the past.

Sean Hopkins said two things that can be done. One is to have the Town be a party to the conservation easement, which gives enforcement abilities. Two is to have it also enforceable by the owners of the other lots. The wording of the easement could also help with enforcement by making the person responsible for court costs and attorney fees. They are willing to work with the Town Attorney to at least try to minimize that possibility.

Councilman Weiss suggested some type of marker on the property. Mr. Cimato said he would be willing to place markers on the lots.

Councilman Bylewski said it was suggested maybe another unrelated third party such as the Western New York Land Conservancy get involved. Mr. Hopkins said he contacted them on a similar project and they are not interested in things like this.

Councilman Kolber said he is concerned that the homeowners association may lose interest at some point.

Mr. Hopkins said the only way it would fail is if every single owner in the association did get tired of it and decided not to do anything.

Speaking to the subject:

Steve Napierala said he would like to know when he can hook up to a sewer, especially when it will be going right by his house. Councilman Bylewski said it makes more sense for the line to go down Roll Road so that he could tie in.

Mr. Napierala asked if there will be any trees or berms to block off the view to his back yard. He also has standing water at the back of his lot and he wants to make sure that it does not get worse. He would be interested in purchasing the lot to the east of him as a third party interest.

Sam Bumbalo said he lives directly north of this proposed project. The proposed road loops back up to Fieldbrook. It appears that the back yards of two of the lots would be on Fieldbrook Drive.

Paul Winzenried wanted to know if he will be able to tap into the sewer also. It appears that three lots will now back up to his property. He would like to know if there will be any buffering to keep his privacy as well as theirs. Mr. Winzenried asked if the land on both sides of the road going in would be left in its natural state. That is what he would prefer to see.

Rich and Cindy Clay live next to this property. Mr. Clay said they own the berm that goes back along the property and he has recently noticed wetland flags were placed along side the berm. The discussion regarding wetlands did not include this portion. They have a copy of the report that was submitted to the Army Corp of Engineers and it does not say anything about a wetland in that area.

T.B.  
Meeting  
11/1/06

Sean Hopkins answered questions that were asked.

Sewer access – The sewer line will be sized so that anyone along Roll Road would be able to tap in.

Conveyance of property – He does not believe the Zoning Ordinance would allow that. It has to be permanent open space.

Roll Road frontage would remain in its natural state, except for trees added along both sides of the roadway.

Fencing – He does not think you would like to see that along an open space. The trade off of clustering is small lots and there will not be much room.

Wetlands – Mr. Hopkins said the wetland delineation report does not include the area along the existing berm. It is probably wet most of the time given the fact that there is a berm. Portions of the berm encroach on the project site. The mere fact that there is standing water does not mean that it is a wetland. There are certain criteria in designating a wetland including specific vegetation and soils.

Drainage – Mr. Hopkins said they intend to install rear yard drainage along all of the property lines. They have to assure the Town that they would not increase the rate of runoff. They also must assure the DEC that it will be clean in accordance with their regulations.

Right-of-way of the cul-de-sac to the north – Mr. Hopkins said it does come close to lots 11 and 12. It is the right-of-way and not the road. There will not be any access to the cul-de-sac. Mr. Callahan said he does not believe that there is double frontage. Mr. Hopkins said there is no frontage.

With no one else speaking to the subject, motion was made by Councilman Kolber, seconded by Councilman Casilio to close the Public Hearing. Upon roll call – Ayes: All; Noes: None. Motion carried.

T.B.  
Meeting  
11-1-06

Motion by Councilman Bylewski, seconded by Councilman Casilio to adopt the following resolution:

Resolved, that the Clarence Town Board, after a Public Hearing duly held on November 1, 2006, and after all interested parties being heard, grants the request of the applicant, Cimato Enterprises, for a 26-Lot Open Space Design Subdivision with private roads, located north of Roll Road and west of Newhouse Road, on approximately 21.96 +/- acres of vacant land, subject to the following conditions: 1. The entire Gott Creek Corridor is to be preserved. 2. No fencing is to be installed in this Open Space Design, subject to further review at the development plan stage. 3. Private infrastructure built to appropriate jurisdictional standards. 4. The proposed Homeowners Association is to be reviewed by the Town Attorney and must specifically address the private sewer issue. Conservation Easement to be reviewed and approved by the Town Attorney. 5. Per the local law, 50% open space must be preserved. 6. The setback from Roll Road must be a minimum of 200 ft. per the concept plan. 7. Defer the imposition, if any, of open space and recreation fees to be determined at the development plan stage. 8. Buffering to occur along the property identified, adjoining the neighbors on Roll Road and the cul-de-sac to the north of the property and along the northern boundary of the project site. 9. Documentation regarding the capacity from Erie County Sewer District No. 5 must be sent to the Town during the development plan stage. 10. The sewer is to be run along Roll Road and sized to allow continuation of the sewer west of the applicant along Roll Road. 11. It is the Town Board's express desire that sewers be extended to those residents along Roll Road to the west of the applicant. 12. Applicant look into markers or other lines of demarcation to show what property will be the conservation/open space area.

On the question, James Callahan said the applicant should be Cimato Enterprises. The sizing of the sewer line is to accommodate additional capacity of the adjoining neighbors. The date is November 1, 2006.

Sean Hopkins said in regard to documentation from Erie County Sewer District No. 5 should be provided prior to, he feels it should be during the next stage. They cannot get until the engineering plans are completed.

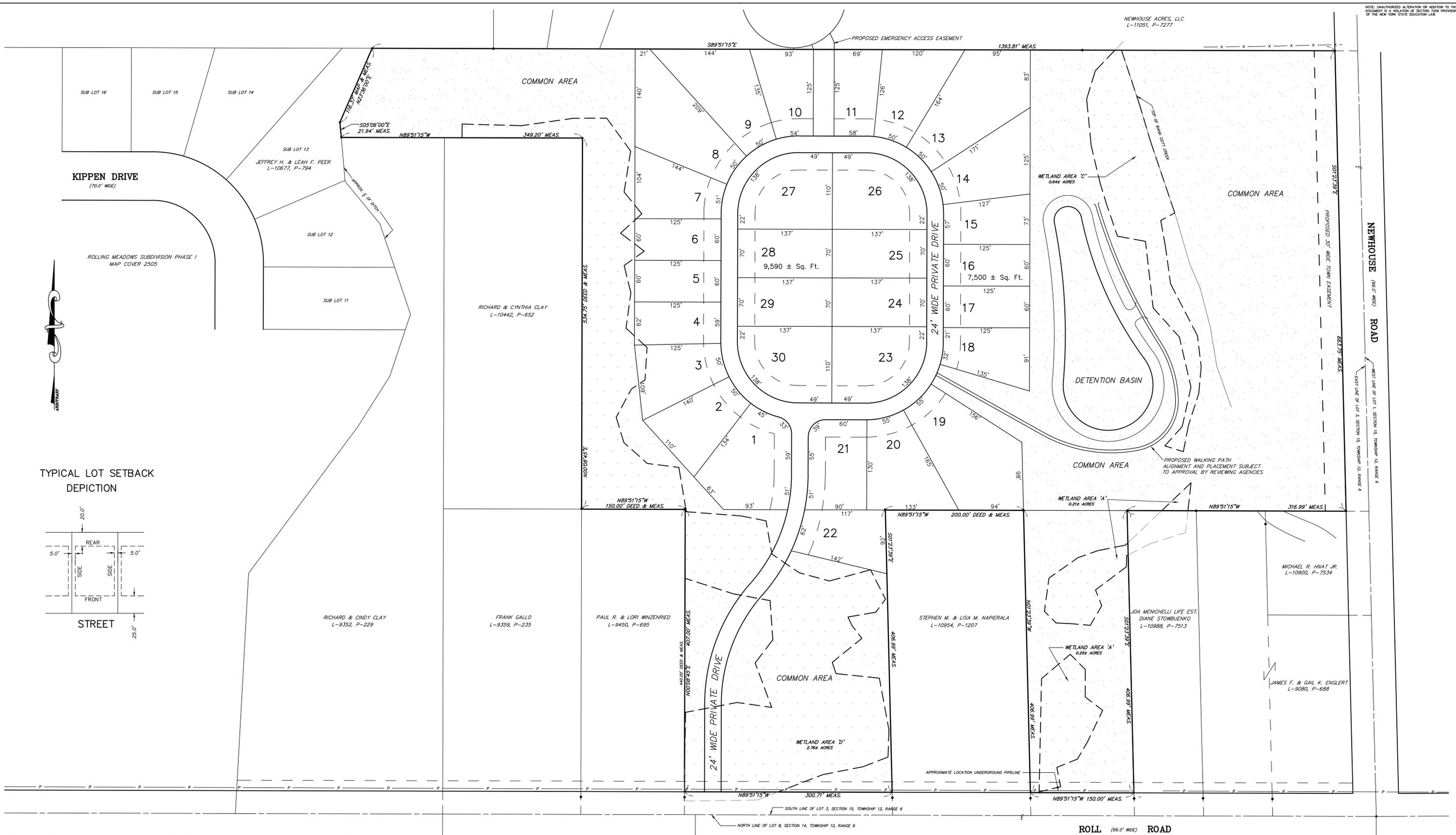
Councilman Bylewski said he would change his motion to reflect the changes of the applicant to Cimato Enterprises; November 1, 2006; and sewer documentation during development stage.

Councilman Casilio said number 4 should also include the conservation easement. Councilman Bylewski said he would change the motion to reflect this change.

A resident asked if the buffering would include lots 13, 10 and 9. Mr. Hopkins said they will take a look at it, but he cannot make a commitment that they can build a berm.

Councilman Bylewski said we are talking about some type of buffering along those portions, but we do not know exactly what that will be. It will be addressed in the development plan stage. The motion was amended to reflect the northern boundary.

Upon roll call – Ayes: All; Noes: None. Motion carried.

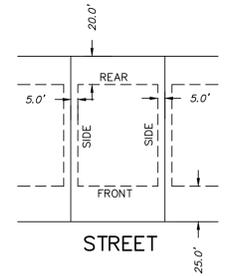


KIPPEN DRIVE  
(70.0' WIDE)

ROLLING MEADOWS SUBDIVISION PHASE I  
MAP COVER 2505



TYPICAL LOT SETBACK DEPICTION



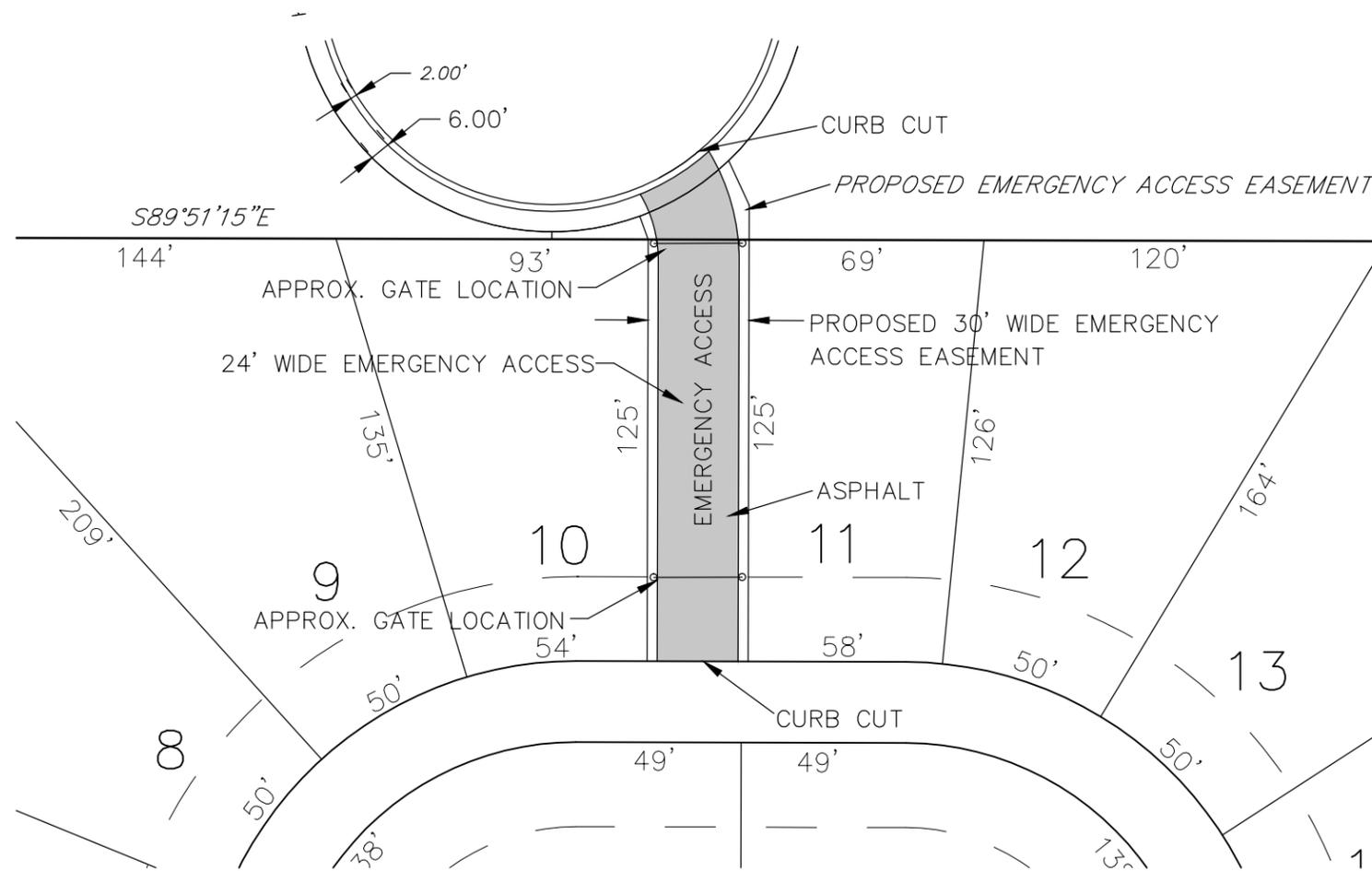
### Site Data

Present Zoning: R-SF (Residential Single Family)  
Proposed utilizing the Open Space Overlay District  
Lots:  
Number shown: 30  
Minimum lot width at setback: 60'  
Minimum lot area shown: 7,500± sq.ft.  
Site Area: 21.618± acres  
Open Space: 13.1± acres

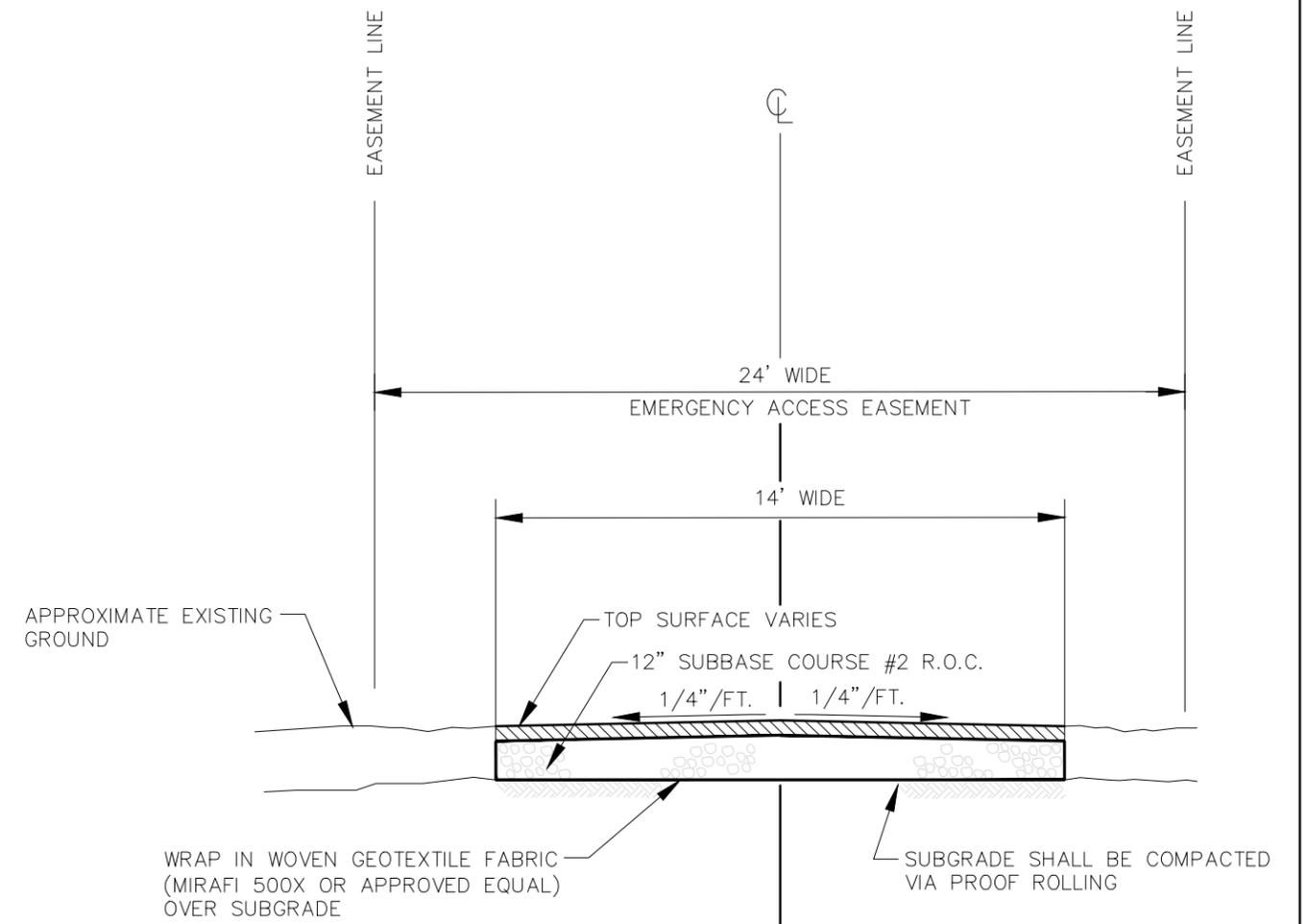
NOTE: WETLANDS SHOWN AS FLAGGED BY WILSON ENVIRONMENTAL TECHNOLOGIES, INC. ON 6/2/15  
REFERENCE: SEE SURVEY PREPARED BY PRATT & HUTH ASSOCIATES LLP DATED AUGUST 19, 2002 - JOB No. 2827

CONCEPT PLAN  
PART OF LOT 3, SECTION 15, TOWNSHIP 12, RANGE 6  
HOLLAND LAND SURVEY  
TOWN OF CLARENCE, ERIE COUNTY, NEW YORK





**PLAN VIEW**  
NOT TO SCALE



**PAVEMENT SECTION**  
NOT TO SCALE

EMERGENCY ACCESS  
TOWN OF CLARENCE, ERIE COUNTY, NEW YORK

<b>GPI</b>	<b>GPI ENGINEERING &amp; SURVEYING, LLP</b>
	FORMERLY PRATT & HUTH ASSOCIATES, LLP
	ENGINEERING • SURVEYING • PLANNING
	4950 GENESEE STREET, SUITE 100 BUFFALO, NEW YORK 14225 (716) 633-4844 FAX 633-4940

Job No. 2006003

Date: MARCH 2016

## CREEKWOOD MEADOW DENSITY CALCULATION

September 14, 2015

### Developable Land Calculation

Total Site Acreage: 21.618 Acres

Total area of wetlands, floodway & other  
undevelopable lands: 5.275 Acres

Total Developable land: 16.343 Acres

Total Acreage minus 10% for streets: 16.343 minus 10% = 14.709 Acres

**Total Developable Land: 14.709 Acres**

### Lot Density Calculation

Existing Zoning: R-SF

Minimum lot area for R-SF: 20,000 sq. ft.

Acreage Available: 14.709 Acres or 640,724 sq. ft.  
 $640,724 / 20,000 = 32.04$  or 32 lots

**MAXIMUM NUMBER OF LOTS: 32**

## MINUTES OF MEETING OF FEBRUARY 26, 2016

Creekwood Meadows  
Town of Clarence  
2006003.01

DATE PREPARED: 2/26/16

LOCATION: Erie County Dept. of Sewerage Management  
Rath Building, Buffalo, NY

ATTENDEES:	Matt Salah	ECDSM
	Angelo Natale	Natale Building Corp.
	Larry LaDuca	Natale Building Corp.
	Dave Pratt	GPI
	Ken Zollitsch	GPI

PURPOSE: Discuss sanitary sewers for proposed Creekwood Meadows

### Discussion:

1. GPI introduced and discussed the new proposed plan
2. Matt Salah stated that he will provide same agreement parameters to Natale Building Corp as he did for the original owner/developer
3. Agreement was made that the following items will be required for sewer approval beyond the standard procedures:
  - a. Installation of sanitary sewer along Roll Road to 8270 Roll Road as this was a Town Board condition.
    - i. Erie County to provide pipe and materials only. In addition, a new agreement for the materials will have to be executed between the County and Natale Building Corp.
    - ii. Sewer shall be designed deep enough to accommodate future extension of line to next three (3) properties to the west.
  - b. Pavement restoration at the Roll Road Pump station
  - c. Payment of \$ 1,000.00 per lot (total of \$ 30,000 (\$ 1,000 x 30) toward the Roll Rd pumping station upgrade will be required. However, due to the additional work imposed to provide service to 8270 Roll Rd a total of \$ 5,000.00 was deducted by DSM. This will make the contribution per lot \$ 833.33 (\$ 25,000.00/30)

---

#### Western New York Branches

- 4950 Genesee Street, Suite 100, Buffalo, NY 14225 Tel: 716.633.4844 Fax: 716.633.4940
  - 200 Harrison Street, Suite H2, Jamestown, NY 14701 Tel: 716.488.2803 Fax: 716.488.2802
  - 20 Wildbriar Road, Suite E, Rochester, NY 14623 Tel: 585.486.4859
- [www.gpinet.com](http://www.gpinet.com) An Equal Opportunity Employer

- i. 2 payments to be made, 50% payment due prior to construction of each 15 lots.
- d. Easement to Erie County to be provided where original sewer line was located in common area as shown on original design plans. This is to be provided in case future line construction is necessary.

Action Items:

- 1. None.

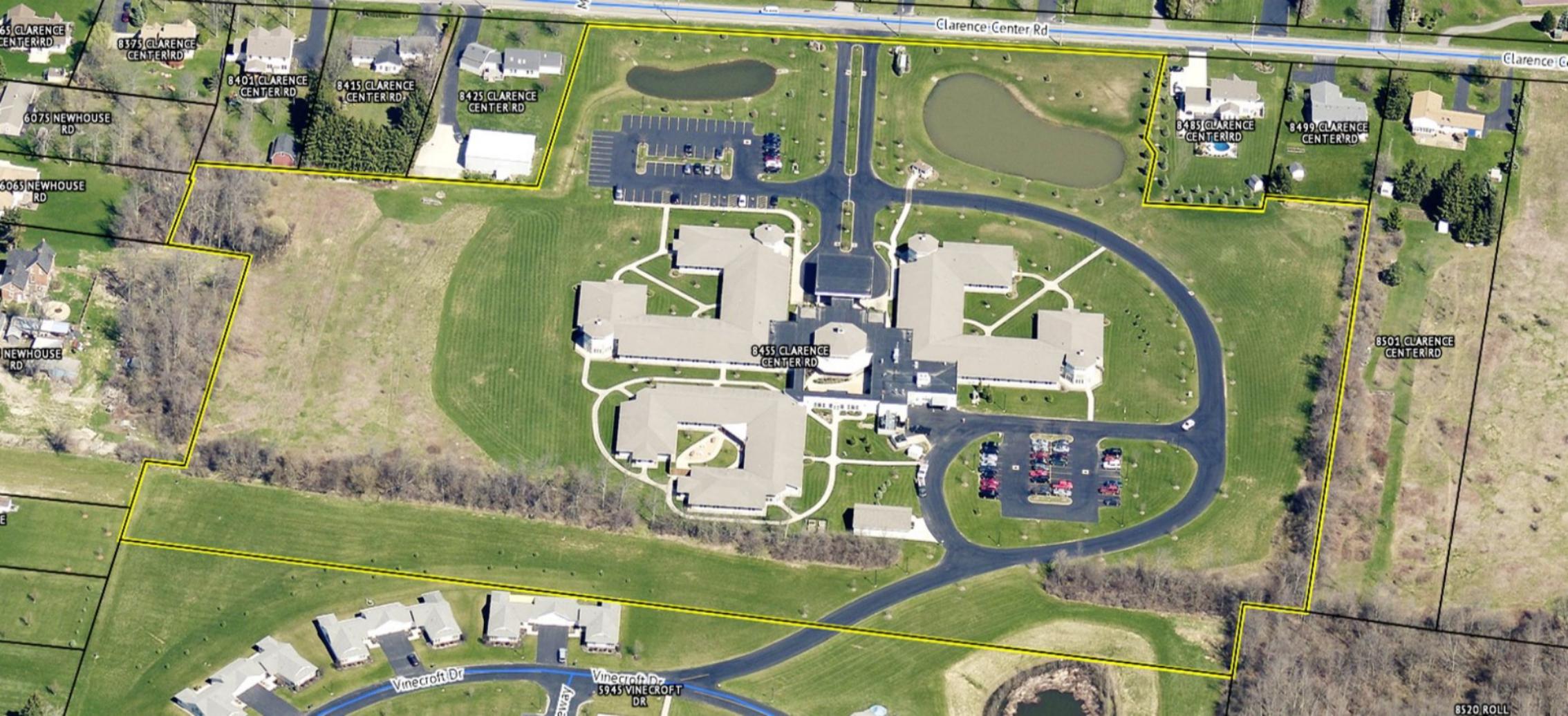
These minutes constitute our understanding of the discussions and conclusions reached. Please advise us within ten (10) days, in writing, of any exceptions or corrections.

Respectfully submitted,



Kenneth C. Zollitsch  
Project Manager

cc: File



Clarence Center Rd

Clarence C

65 CLARENCE CENTER RD

8375 CLARENCE CENTER RD

6075 NEWHOUSE RD

8401 CLARENCE CENTER RD

8415 CLARENCE CENTER RD

8425 CLARENCE CENTER RD

8485 CLARENCE CENTER RD

8499 CLARENCE CENTER RD

6065 NEWHOUSE RD

NEWHOUSE RD

8455 CLARENCE CENTER RD

8501 CLARENCE CENTER RD

Vinecroft Dr

Vinecroft Dr  
5945 VINECROFT DR

8520 ROLL

DENSITY CALCULATION  
BRISTOL VILLAGE

PROJECT AREA.....18.5 Acres  
ALLOWED DENSITY WITHIN A PLANNED UNIT RESIDENTIAL DEVELOPMENT.....3 UNITS/ACRE

**MAXIMUM DENSITY ALLOWED.....56 UNITS**

EXISTING PROJECT IDENTIFIES 54 ASSISTED CARE UNITS (.5 MULTIPLIER) = 27 UNITS\*  
EXISTING PROJECT IDENTIFIES 30 MEMORY CARE UNITS (.25 MULTIPLIER) = 7.5 UNITS\*\*

PROPOSED ADDITIONS:

38 ASSISTED LIVING UNITS (.5 MULTIPLIER) = 19 UNITS  
10 MEMORY CARE UNITS (.25 MULTIPLIER) = 2.5 UNITS

PROPOSED NEW DENSITY:

92 ASSISTED CARE UNITS = 46 UNITS  
40 MEMORY CARE UNITS = 10 UNITS

**56 TOTAL UNITS\*\*\***

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APR 11 2016

**ZONING OFFICE**

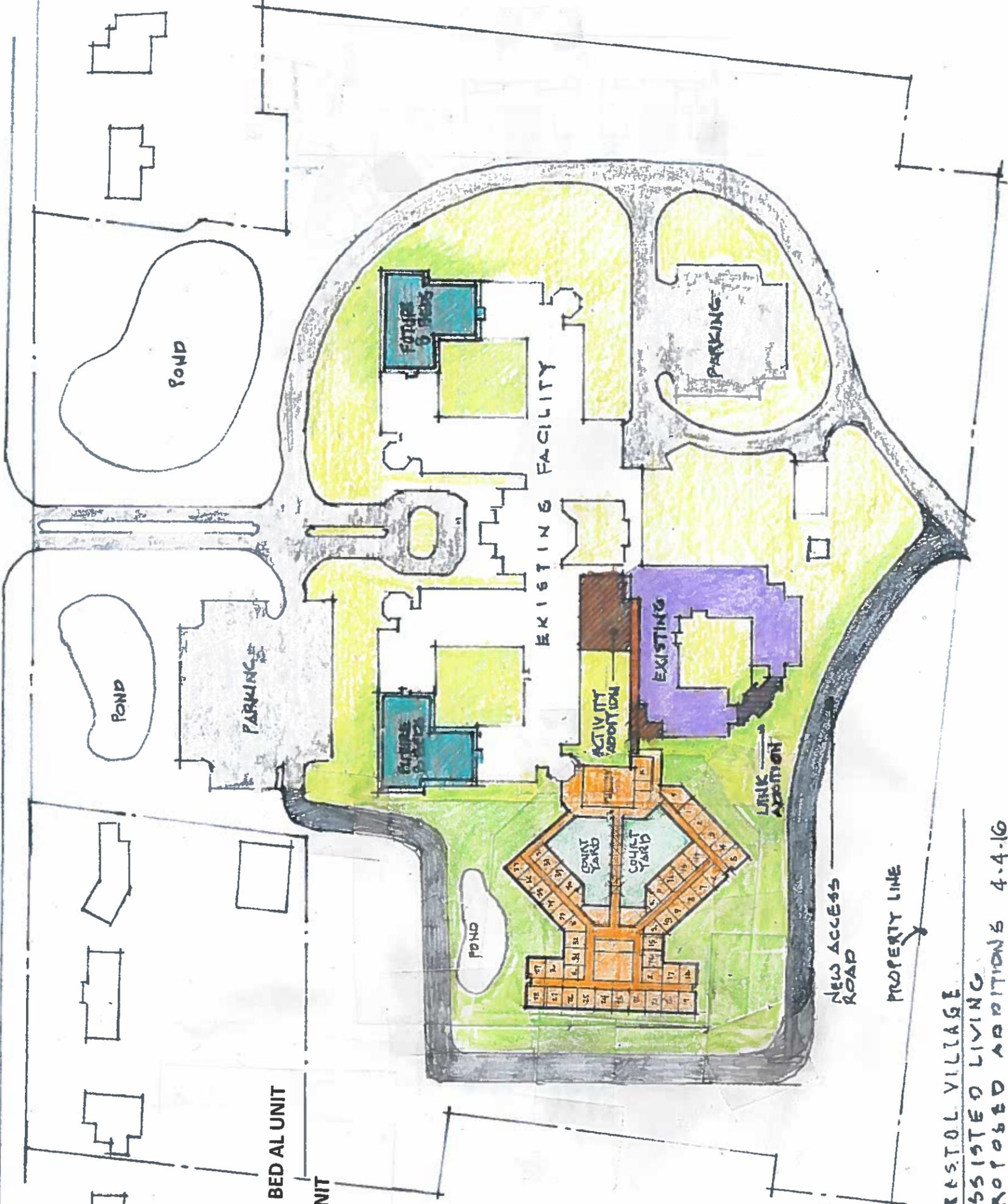
\*Identifying a .5 multiplier for assisted living is consistent with other project reviews/determinations.

\*\*Justification for a .25 Multiplier for memory care units is based upon unit size, no kitchen facilities and 24 hour monitoring within a residential classification as a Planned Unit Residential District (PURD only classification)

\*\*\*Under this determination, Within a Planned Unit Residential Development (PURD) and not related to any Density Determinations in a Restricted Business or Commercial Zoning Classification.

CLARENCE CENTER ROAD

PROPOSED BRISTOL VILLAGE EXPANSION  
 8455 CLARENCE CENTER ROAD  
 TOWN OF CLARENCE  
 COUNTY OF ERIE, STATE OF NEW YORK  
 CONCEPT PLAN



- New 16 BED AL UNIT (two areas)
- New 40 BED MC UNIT
- Existing 30 BED MC UNIT converted to 22 BED AL UNIT
- New ACTIVITY ROOM and link to MC UNIT
- Existing 54 BED AL UNIT

SUMMARY OF BED ALLOCATION

Current : 54 AL Beds and 30 MC Beds  
 Proposed : 92 AL Beds and 40 MC Beds

Property allocation for Town of Clarence  
 92 AL x .5 = 46  
 40 MC x .25 = 10  
 total 56 allowed for development

NORTH ↑  
 BRISTOL VILLAGE  
 ASSISTED LIVING  
 PROPOSED ADDITIONS 4.4.16



617.20  
Appendix B  
Short Environmental Assessment Form

**RECEIVED**

FEB 24 2016

**ZONING OFFICE**

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Bristol Village - 8455 Clarence Center Rd			
Name of Action or Project: Proposed Independent Living, Assisted Living and Memory Care Improvements			
Project Location (describe, and attach a location map): 8455 Clarence Center Rd			
Brief Description of Proposed Action: The proposed project involves the addition of a total of 10 duplexes, seven to the west side of the existing congregate building and three to the east side of the existing congregate building. The proposed duplexes will introduce a total of 20 units for independent living. The seven units to the west of the existing structure includes a new access drive. Additionally, there are proposed expansions to the existing congregate building. There are a total of 8 assisted living units to be added to both the northeast and northwest building corners. Also, at the southwest corner of the existing structure, it is proposed to relocate a total of 8 units and add 6 new units to the memory care wing of the facility. See Attachment 1 for Project Location Map and Attachment 2 Project Conceptual Site Plan. Infrastructure improvements will include extension of the private storm water and wastewater collection systems, extension of the private domestic water/fire protection system, new interior access drive and site landscaping			
Name of Applicant or Sponsor: Bristol Village - Michael Helbringer, President		Telephone: (716) 319-9500	
		E-Mail: MHelbringer@BRISTOLHOME.ORG	
Address: 8455 Clarence Center Rd.,			
City/PO: Clarence Center		State: NY	Zip Code: 14032
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: EC Hwy Dept, EC Sewer District #5		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		18.5+/- acres	
b. Total acreage to be physically disturbed?		5.64+/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		18.5+/- acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other (specify): <u>Independent/Sr Housing (Vincroft)</u>			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? Site is zoned PURD. This zoning classification within the Town has since been rescinded	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: <u>Site was previously disturbed for construction of the existing 84 unit congregate building. Proposed improvements will predominantly occur within manicured lawn areas</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area? Archaeological survey was completed as part of initial site development for main congregate building - Survey #99SR50227	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ See Attachment 3 NYSDEC Environmental Resource Map Output File _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain? See Attachment 4 FEMA Firmette	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <u>storm water will be conveyed to new on-site retention pond, with controlled discharge to existing on-site storm water conveyance system, with final discharged point to Erie County closed system along Clarence Center Rd</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: _____		Date: _____
Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: Patricia Bittar, Agent for Owner		Date: February 24, 2016
Signature: <u><i>Patricia Bittar</i></u>		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Clarence Town Board \_\_\_\_\_ April 2016 \_\_\_\_\_  
Name of Lead Agency Date

James Callahan \_\_\_\_\_ Director of Community Development \_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer

*J. Callahan* \_\_\_\_\_  
Signature of Responsible Officer in Lead Agency Signature of Preparer (if different from Responsible Officer)

**PRINT**

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FEB 25 2016

ZONING OFFICE

**Short Environmental Assessment Form**  
**Part 1 - Project Information**

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
BRAUNSCHEIDEL LGS PROPERTY SERVICES INC.			
Name of Action or Project: 9610 COUNTY ROAD			
Project Location (describe, and attach a location map): 9610 COUNTY ROAD, CLARENCE, NEW YORK. APPROXIMATELY 1/4 MILE EAST OF GOODRICH ROAD.			
Brief Description of Proposed Action: ACTION CONSISTS OF THE CONSTRUCTION OF A 7,800 SQUARE FOOT SINGLE STORY STRUCTURE WITH PARKING FOR APPROXIMATELY 11 VEHICLES. ALSO INCLUDED IN THE IMPROVEMENTS IS POTABLE WATER SERVICE, SEPTIC, ELECTRIC AND GAS SERVICE. DRAIAGE IMPROVEMENTS WILL ALSO BE PART OF THE ACTION.			
Name of Applicant or Sponsor: BRIAN BRAUNSCHEIDEL		Telephone: 716-542-5500	
		E-Mail: BRIAN@BRAUNLGS.COM	
Address: P.O. BOX 88			
City/PO: CLARENCE		State: NEW YORK	Zip Code: 14031
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		2.92 +/- acres	
b. Total acreage to be physically disturbed?		0.97 +/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2.92 +/- acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			



<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: <u>Brian Brunscheidt</u> Date: <u>April 2016</u></p> <p>Signature: _____</p>		

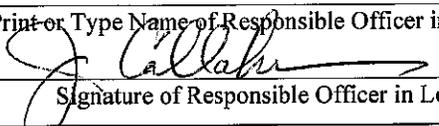
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: _____		Date: _____
Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

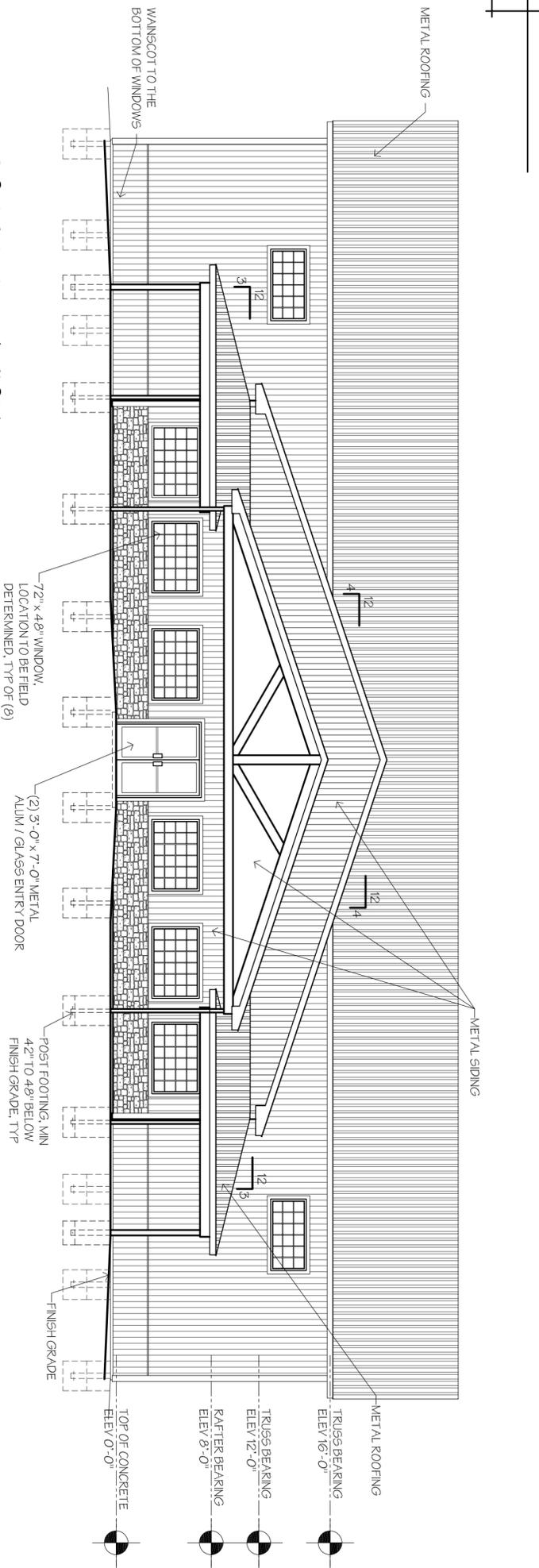
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

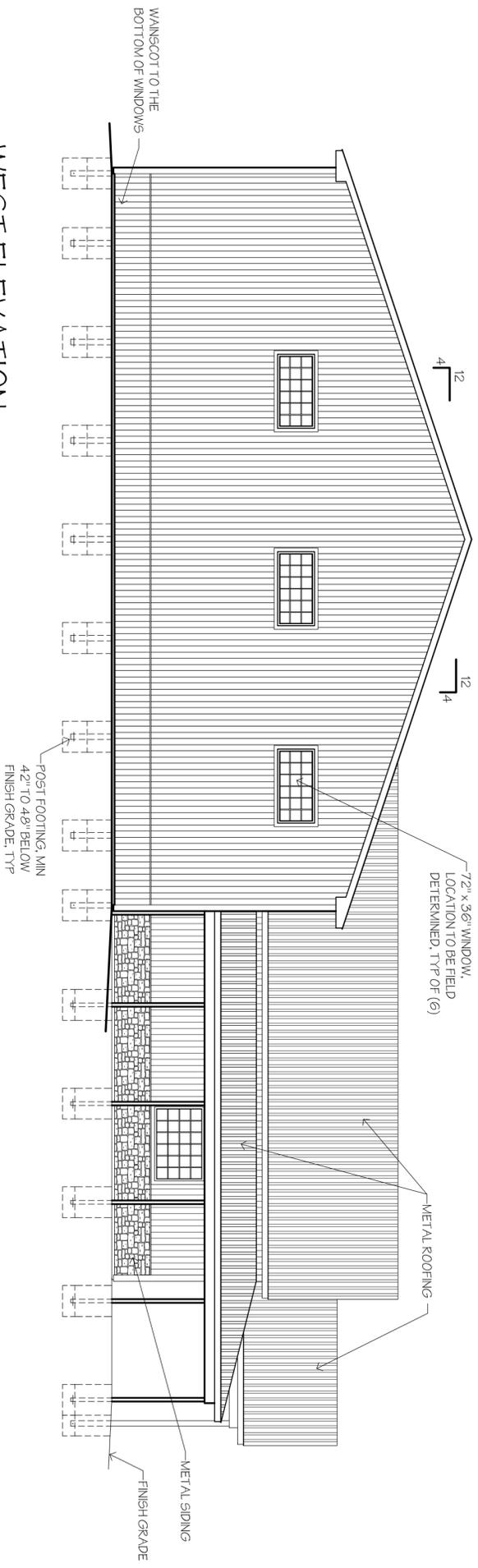
**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Clarence Town Planning Board	April 2016
Name of Lead Agency	Date
James Callahan	Director of Community Development
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**



**SOUTH ELEVATION**  
1/8" = 1'-0"  
1



**WEST ELEVATION**  
1/8" = 1'-0"  
2

**GENERAL & STRUCTURAL NOTES**

1. TOTAL BUILDING AREA:  
ENCLOSED BUILDING: 8,040 S.F.  
COVERED PORCH: 1,400 S.F.
2. IN LIEU OF GEOTECHNICAL EVALUATION, FOOTING DESIGN ASSUMES A MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF BASED. VERIFY ACTUAL CONDITIONS PRIOR TO CONSTRUCTION. IF OTHER CONDITIONS ARE DISCOVERED, NOTIFY THE ARCHITECT IMMEDIATELY.
3. ALL FOOTINGS SHALL BEAR UPON UNDISTURBED OR COMPACTED SUB-GRADE.
4. FOOTING BEARING POINTS SHALL MAINTAIN A MINIMUM DEPTH OF 42" TO 48" BELOW FINISH GRADE, AS DETERMINED BY THE BUILDING DEPARTMENT. FOR Frost PROTECTION FOR ENTIRE PERIMETER OF BUILDING.
5. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE DESIGN STRENGTH OF 3,500 PSI.
6. ROOF TRUSSES SHALL BE DESIGNED TO SUPPORT:  
SNOW LOAD 32 PSF (50 PSF GROUND SNOW LOAD)  
DEAD LOAD 5 PSF  
WIND LOAD 90 MPH EXPOSURE C

*Life*

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new york \* connecticut  
charles a. dahlke  
registered architect  
6695 s. transit road  
lockport, new york 14094  
716 - 210 - 3287  
cadahlke@lifexdesignarchitecture.com

CLIENT NAME / PROJECT TITLE:  
**BRAUNSCHEIDEL LGS, INC  
BUSINESS OFFICE & STORAGE**

PROJECT LOCATION:  
**9610 COUNTY ROAD  
CLARENCE, NEW YORK**

CONTENTS ON SHEET:  
**ELEVATIONS & NOTES**

CONTENTS ON SHEET: **SHEET 1 OF 4**  
SCALE: **AS SHOWN**  
DATE: **12-18-15**

REVISIONS:  
**1 STONE & TIMBER 2-26-16 CAD**

- WHERE TRUSSES LAP COLUMN  
SECURE W/ (10) 1/2" NAILS  
- NOTE: USE (1) USF RT3A  
CLIP AT EACH INTERMEDIATE  
TRUSS TO HEADER CONNECTION  
(ONE EACH PLY)

**TYPICAL ROOF**

- STEEL ROOFING
- 2 x 4 SFF #2 PURLINS @ 24" O.C.
- PRE-ENGINEERED TRUSSES (BY OTHERS) @ 48" O.C. TO BE INSTALLED PER IPI STANDARDS (CERTIFIED TRUSS DESIGN BY MANUF. SUBMIT TRUSS DRAWING TO BLDG DEPARTMENT PRIOR TO ERECTION)
- 3/4" x 9/16" LVL HEADER ON EACH SIDE SECURED TO EA. POST OR BLOCK W/ (2) #10 THRU BOLTS
- 2 x 6 FASGDA
- 1" VENTED VINYL SOFFIT
- GUTTERS & DOWNSPOUTS

**18' POST HGT EXT WALL**

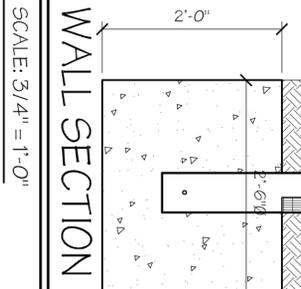
- METAL SIDING
- 2 x 4 SFF #2 OR BETTER GIRTS @ 24" O.C.
- 2 x 8 PRESSURE TREATED SPLASH BOARD @ GRADE (TYPICAL)
- (4) PLY 2 x 6 GULL LAM. COLUMNS, SPACING NOTED ON PLAN

**TYPICAL FLOOR**

- 4" FLOURED CONCRETE FLOOR 3,500 PSI
- 4" COMPACTED GRAVEL, CRUSHED STONE OR UNDISTURBED SUB-GRADE

**TYP POST FOOTING**

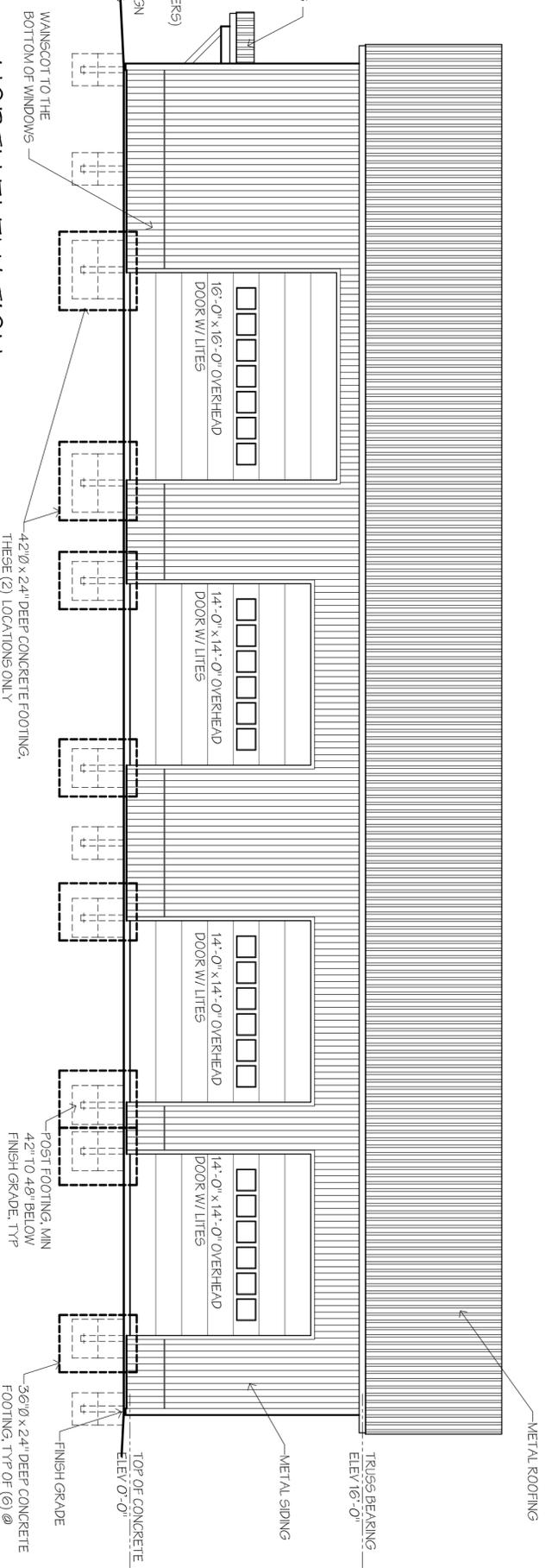
- 30"Ø x 42" TO 48" EXCAVATION
- 30"Ø x 24" THICK CONCRETE FOOTING, UNLESS OTHERWISE NOTED
- 10" x #10 STEEL PIN THRU POST (TYP) - BACKFILL W/ EXCAVATED MATERIALS
- 2" RIGID INSULATION FROM TOP OF FOOTING TO TOP OF CONCRETE FLOOR



SCALE: 3/4" = 1'-0"

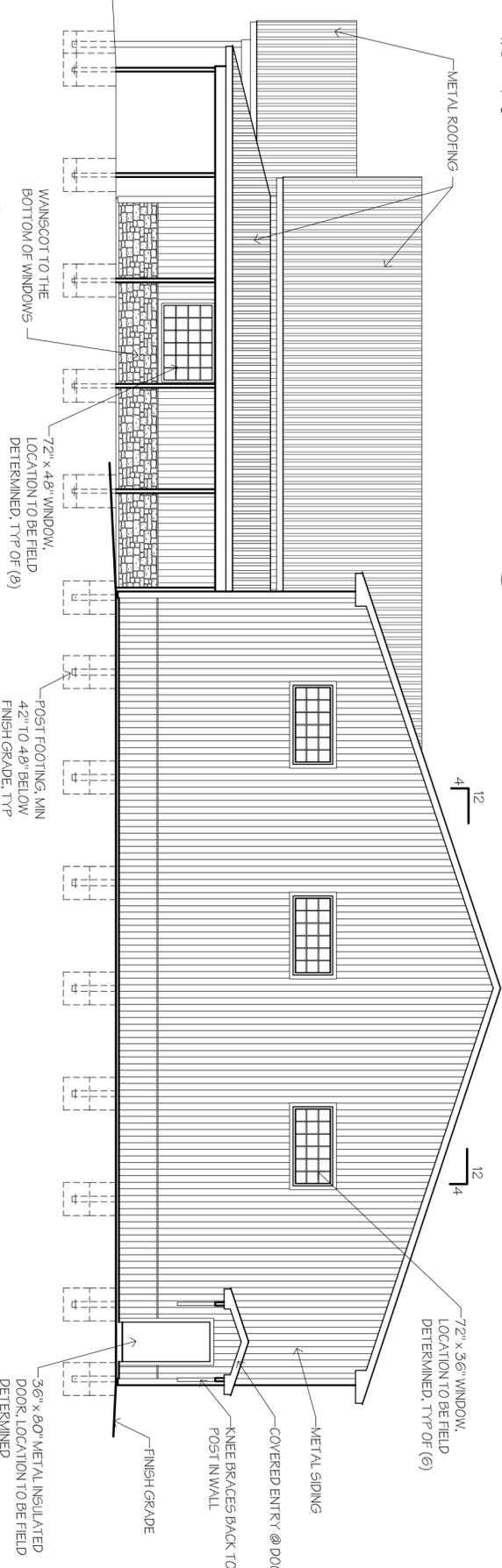
**NORTHELEVATION**  
1/8" = 1'-0"

2



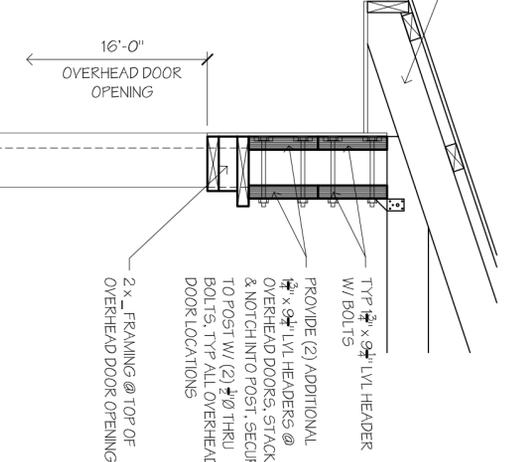
**EAST ELEVATION**  
1/8" = 1'-0"

3



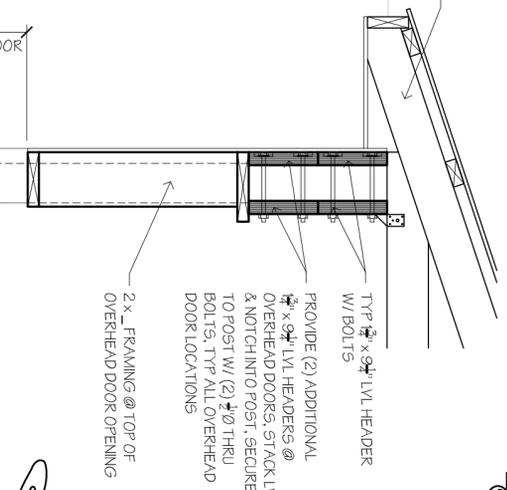
**O/HDR DETAIL**  
SCALE: 3/4" = 1'-0"

4



**O/HDR DETAIL**  
SCALE: 3/4" = 1'-0"

5



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CLIENT NAME / PROJECT TITLE: <b>BRAUNSCHEIDEL GS, INC BUSINESS OFFICE &amp; STORAGE</b>	PROJECT LOCATION: <b>9610 COUNTY ROAD CLARENCE, NEW YORK</b>	charles a. dahlke registered architect 6695 s. transit road lockport, new york 14094 716 - 210 - 3287 cadahlke@lifeXdesignarchitecture.com
CONTENTS ON SHEET: <b>ELEVATIONS, SECTIONS &amp; DETAILS</b>	CONTENTS ON SHEET: <b>SHEET 2 OF 4</b>	REVISIONS: <b>1 STONE &amp; TIMBER 2-26-16 CAD</b>
	SCALE: <b>AS SHOWN</b>	DATE: <b>12-18-15</b>



DRAWING NO:

A-1

15-215

Charles A. Dahike, registered architect

CONTENTS ON SHEET:

FRONT ELEVATION

4-8-16

DATE:

SHEET 1 OF 1

PROJECT TITLE / LOCATION:

BRAUNSCHEIDEL GS, INC  
CLARENCE, NEW YORK

AS SHOWN

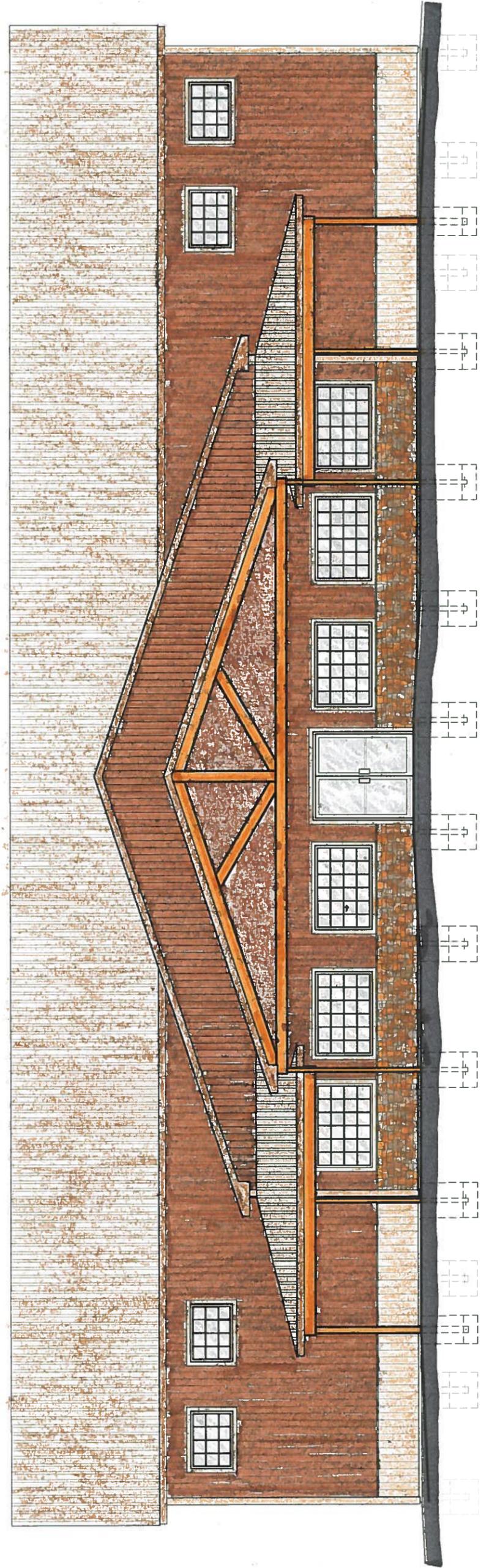
SCALE:

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SOUTH ELEVATION

1

1/8" = 1'-0"



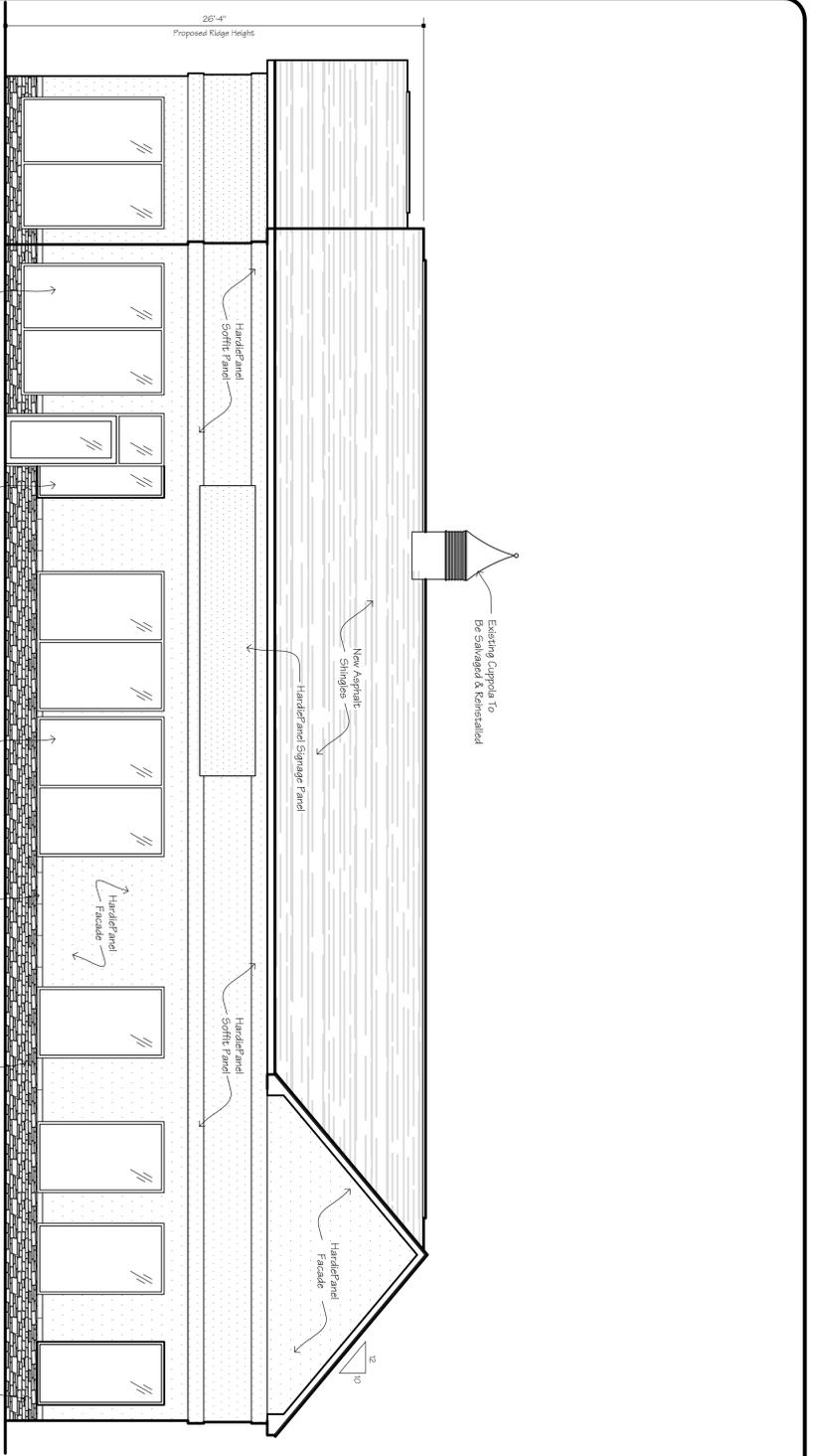
enterprise car sales

Handicap parking sign

Handicap parking sign

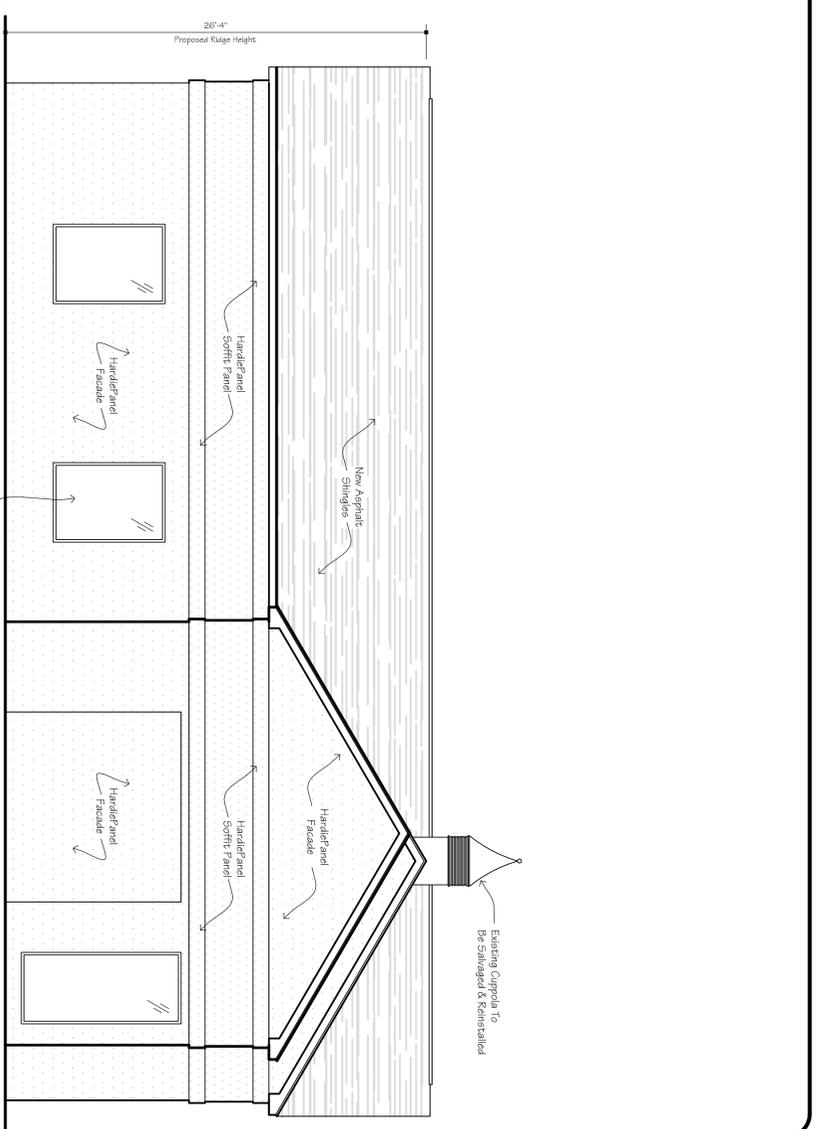
Handicap parking sign

car sales sign in window



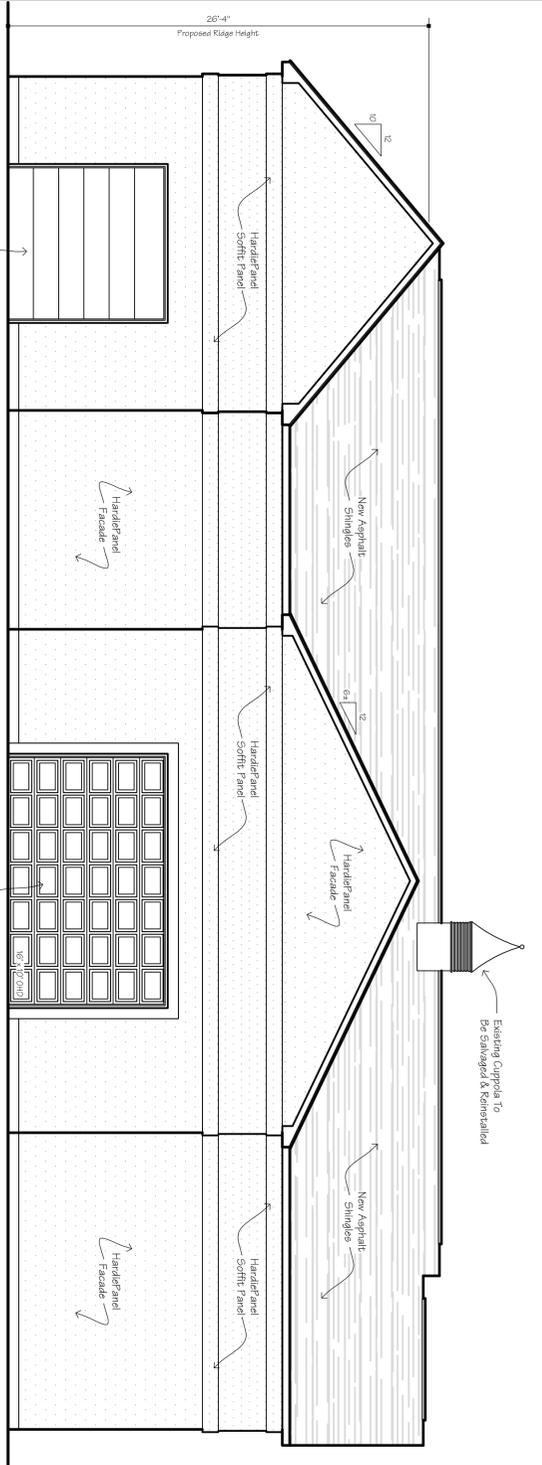
A31 West Elevation

3/16" = 1'-0"



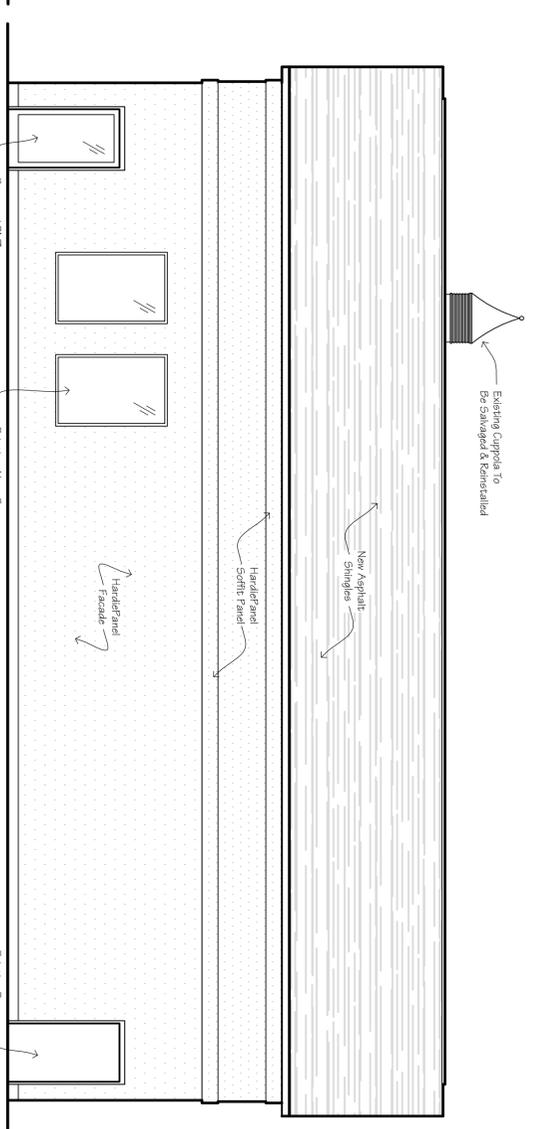
A32 North Elevation

3/16" = 1'-0"



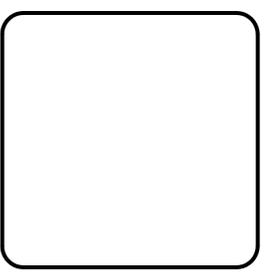
A33 East Elevation

3/16" = 1'-0"



A34 South Elevation

3/16" = 1'-0"



5409 Main Street  
(Second Floor)  
Williamsville, NY 14221  
(716) 932-7156 Fax 932-7873

Job Number:  
**16-117**

Proposed  
Renovation  
For,

**Enterprise**

6755 Transit Road  
East Amherst, NY

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No.	Description	Date	By

**WARNING:**  
This is a violation of Article 167, Section 7202 of the New York State Education Law (enforcing documents, unless under the direction of a licensed architect).

Proposed  
Elevations

Drawn By: M. Berger  
Date: 04-13-16  
Checked: D. Sturton  
Scale: As Noted

Sheet No.:  
**A-2**

