

**TOWN OF CLARENCE**  
ENGINEERING and BUILDING DEPARTMENTS  
6221 Goodrich Road  
Clarence Center, NY 14032  
716-741-8952  
FAX: 716-407-8915



*Timothy M. Lavocat, P.E., CFM*  
Town Engineer

April 25, 2016

Jason Utzig, P.E.  
C&S Engineers, Inc.  
141 Elm Street  
Suite 100  
Buffalo, New York 14203

**RECEIVED**

APR 25 2016

**ZONING OFFICE**

**Re: CFD #1 Fire Hall Addition & Alterations**  
**10355 Main Street**  
**Development Plan Technical Review #2**

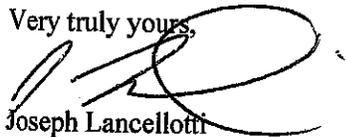
Dear Mr. Utzig:

The Town of Clarence Engineering Department has reviewed the development plan information for the above referenced project dated December 18, 2015 and received by this Department April 25, 2016. **The Development Plan meets the technical requirements of the Engineering Department and is subject to the conditions below. Additional Town Committee/Board approvals are required for final Development Plan approval.**

1. Private Improvement Permits (PIP's) are required for pavement and curbing, storm drainage and grading and fire protection main prior to any site work.
2. All sheets of the PIP plans are to be wet stamped and signed. Three (3) sets of plans are required to be submitted with the PIP applications.
3. All conditions of approval by the Engineering Department and the Planning Board Resolution for Development Plan approval shall be clearly presented on the cover sheet of the PIP Plans.
4. Only approved plan sets bearing the signature of the Town Engineer shall be considered valid plans to be used on site. All sheets of PIP plans to be clearly labeled "ISSUED FOR CONSTRUCTION".
5. Full compliance with and all signatory requirements of GP-0-15-002 are required.
6. The Owner/Operator and contractor certifications, as part of the SWPPP must be signed prior to issuance of PIP's.
7. Please be advised that SWPPP site inspections are required under permit GP-0-15-002 and are the responsibility of the owner/operator to ensure continued maintenance of the stormwater management system. The maintenance agreement is required prior to final acceptance of the public infrastructure by the Town of Clarence.

Should you have any questions or require further clarification regarding the review of the above referenced project please feel free to contact me.

Very truly yours,

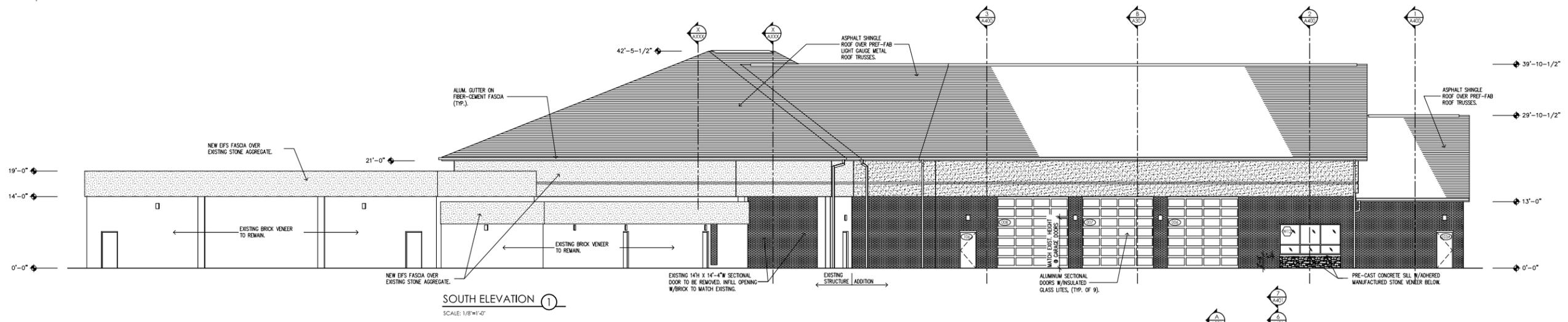


Joseph Lancellotti  
Civil Engineer

Cc: James B. Callahan, Director of Community Development  
Jeffrey Wilson, Code Enforcement Officer  
Clarence Fire District #1, 10355 Main Street, Clarence, NY 14031  
Robert Shepard, Stieglitz Snyder Architecture, 425 Franklin Street, Buffalo, NY 14202  
File

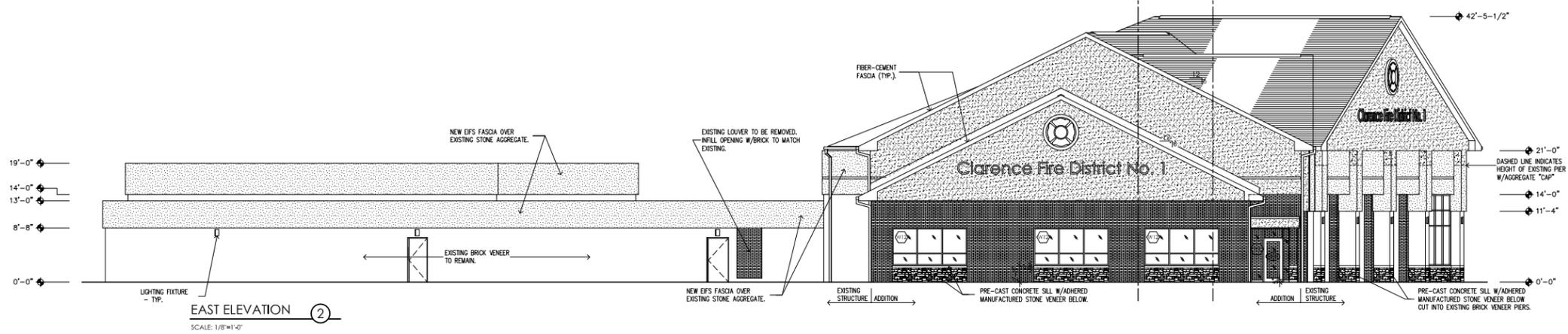
**CLARENCE FIRE DISTRICT NO. 1**  
Clarence, New York

STIEGLITZ SNYDER ARCHITECTURE PROJECT 08.13

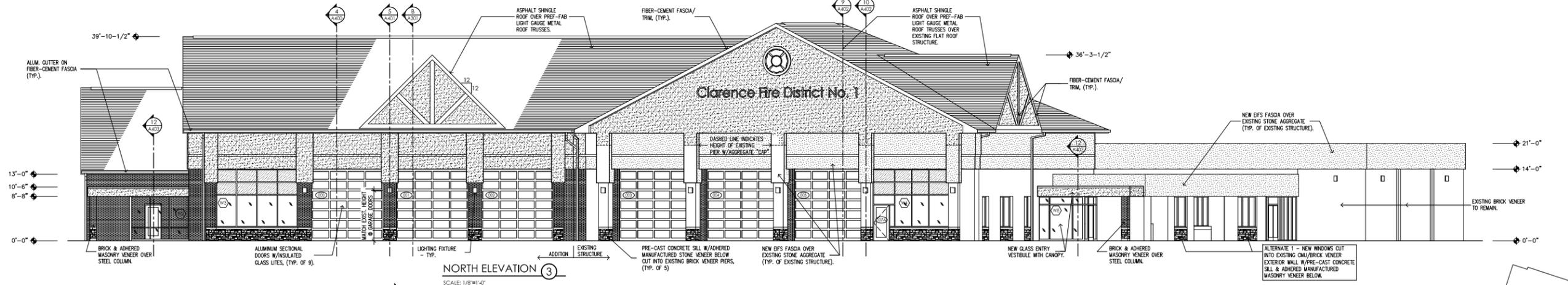


**SOUTH ELEVATION ①**  
SCALE: 1/8"=1'-0"

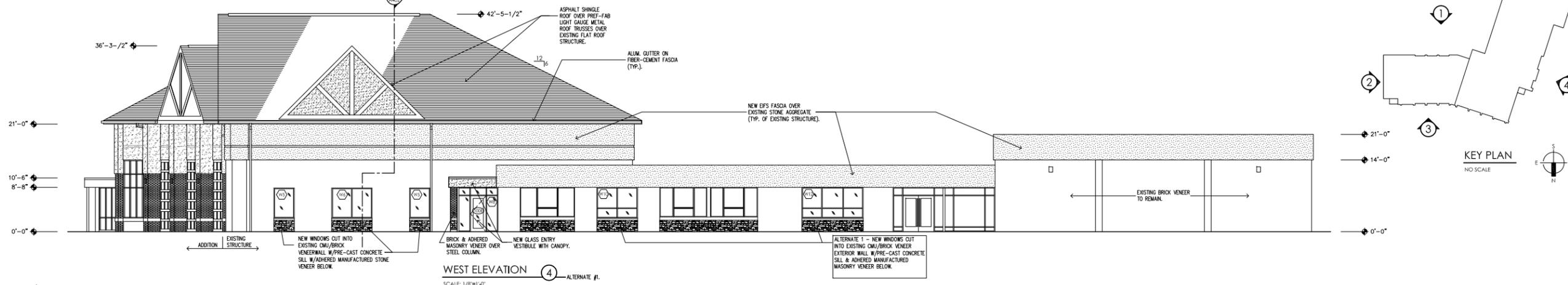
- KEYING**
- GL-1 CLEAR INSULATED GLASS, LOW-E-COATED - REFER TO WINDOW SCHEDULE FOR ADDITIONAL REQUIREMENTS.
  - GL-2 INSULATED SPANDREL GLASS.
  - EPS OVER EXISTING STONE AGGREGATE FASCIA.
  - EPS.
  - BRICK VENEER TO MATCH EXISTING.



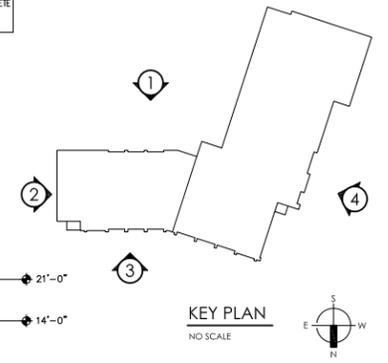
**EAST ELEVATION ②**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION ③**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION ④**  
SCALE: 1/8"=1'-0" ALTERNATE #1



**DESIGN DEVELOPMENT**

DESIGNED BY ARCHITECTURE (STIEGLITZ SNYDER ARCHITECTURE)  
ENGINEERED BY ENGINEERING (C&S ENGINEERING, INC. / PETRELLI STRUCTURAL & CONSULTING ENGINEERING, P.C. / BUFFALO ENGINEERING, P.C.)  
DATE: SEPTEMBER 24, 2015

DESIGNED BY	STP	CHECKED BY	BS
SCALE	AS NOTED		
DATE	SEPTEMBER 24, 2015		

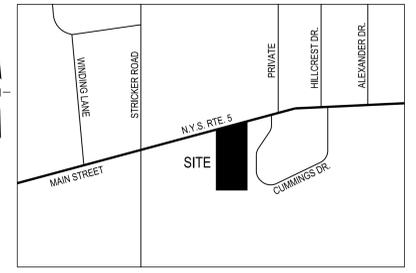


Clarence Fire District No. 1



Clarence Fire District No. 1

Clarence Fire District No. 1



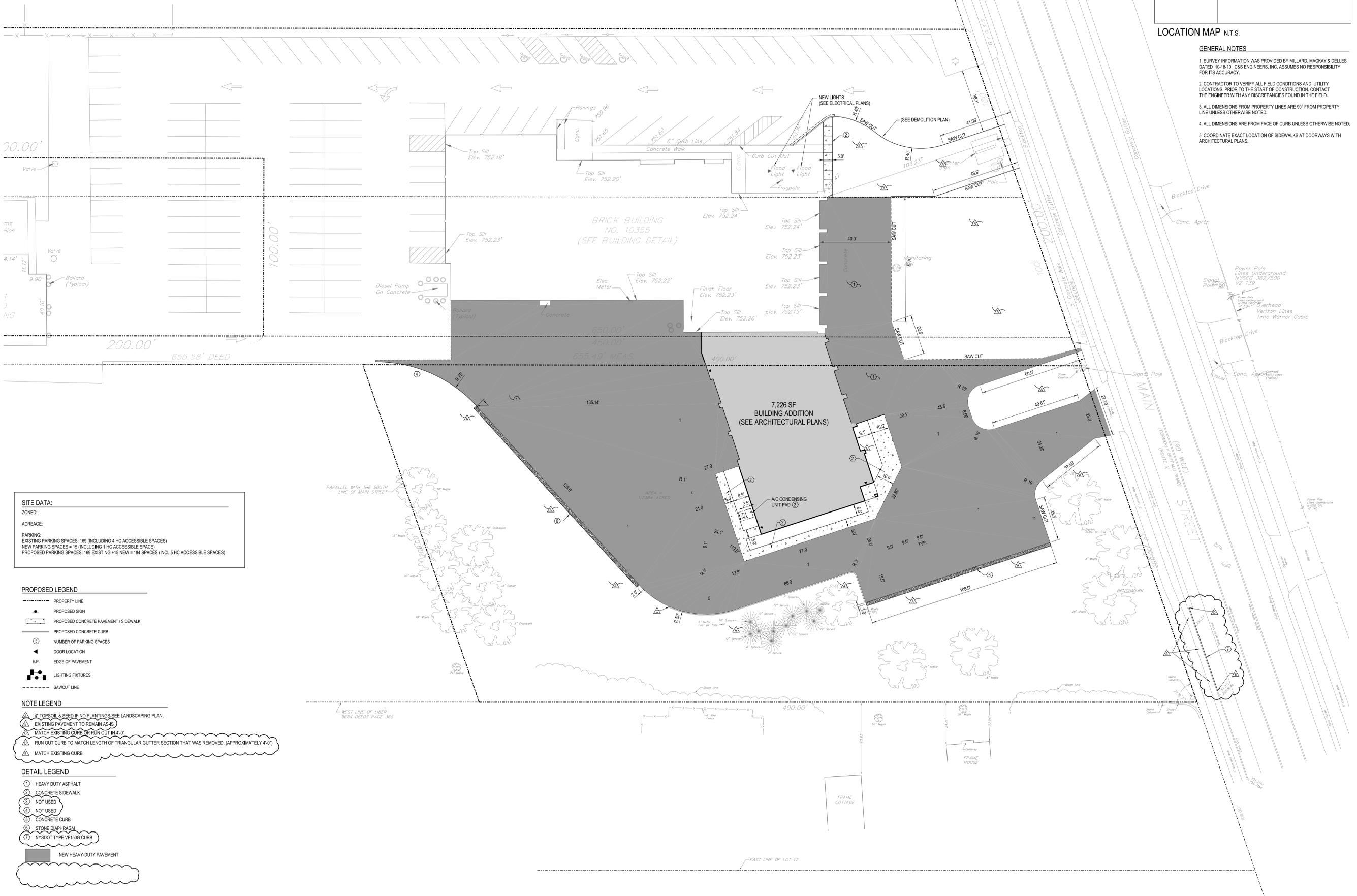
**STIEGLITZ SNYDER ARCHITECTURE**  
 425 FRANKLIN STREET  
 BUFFALO, NEW YORK 14202  
 716.858.9166  
 www.stieglitzsnyder.com

**LOCATION MAP N.T.S.**

**GENERAL NOTES**

1. SURVEY INFORMATION WAS PROVIDED BY MILLARD, MACKAY & DELLES DATED 10-18-10. CAS ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
2. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
3. ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
5. COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.

CONSULTANTS  
**C&S ENGINEERS, INC.**  
 CIVIL ENGINEERS  
 716.847.1630  
**PETRILLI STRUCTURAL & CONSULTING ENGINEERING, P.C.**  
 STRUCTURAL ENGINEER  
 716.854.3388  
**BUFFALO ENGINEERING, P.C.**  
 M.E.P.E.P. ENGINEERS  
 716.433.5300



**SITE DATA:**  
 ZONED:  
 ACREAGE:  
 PARKING:  
 EXISTING PARKING SPACES: 169 (INCLUDING 4 HC ACCESSIBLE SPACES)  
 NEW PARKING SPACES = 15 (INCLUDING 1 HC ACCESSIBLE SPACE)  
 PROPOSED PARKING SPACES: 189 EXISTING +15 NEW = 104 SPACES (INCL 5 HC ACCESSIBLE SPACES)

- PROPOSED LEGEND**
- PROPERTY LINE
  - PROPOSED SIGN
  - PROPOSED CONCRETE PAVEMENT / SIDEWALK
  - PROPOSED CONCRETE CURB
  - NUMBER OF PARKING SPACES
  - DOOR LOCATION
  - E.P. EDGE OF PAVEMENT
  - LIGHTING FIXTURES
  - SAWCUT LINE

- NOTE LEGEND**
- 1" TOPSOIL & SEED IF NO PLANTINGS-SEE LANDSCAPING PLAN.
  - EXISTING PAVEMENT TO REMAIN AS-IS
  - MATCH EXISTING CURB OR RUN OUT IN 4'-0"
  - RUN OUT CURB TO MATCH LENGTH OF TRIANGULAR GUTTER SECTION THAT WAS REMOVED. (APPROXIMATELY 4'-0")
  - MATCH EXISTING CURB

- DETAIL LEGEND**
- HEAVY DUTY ASPHALT
  - CONCRETE SIDEWALK
  - NOT USED
  - NOT USED
  - CONCRETE CURB
  - STONE DAMPBRASH
  - NYSDOT TYPE VFI150G CURB
  - NEW HEAVY-DUTY PAVEMENT

**CLARENCE FIRE DISTRICT NO. 1  
 FIRE HALL ADDITION AND ALTERATIONS**  
 Clarence, New York  
 STIEGLITZ SNYDER ARCHITECTURE PROJECT 08.13

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REVISIONS  
 2-24-16 NYSDOT COMMENTS  
 4-20-16 OWNER & V/E COMMENTS

DRAWN BY: JH CHECKED BY: LD

SCALE: AS NOTED

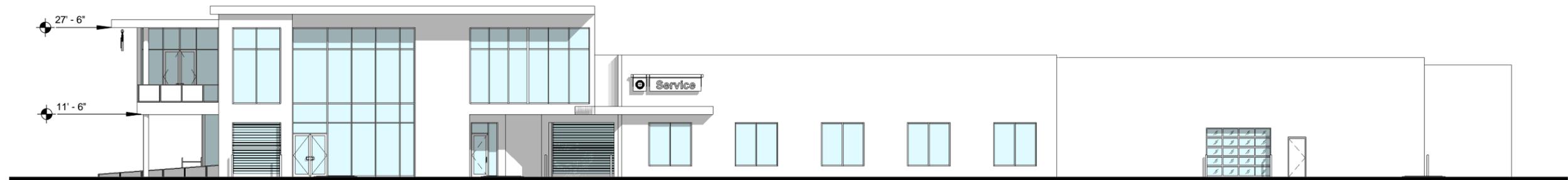
DATE: DECEMBER 18, 2015

**SITE PLAN  
 C101**





Proposed - West Elevation



Proposed - South Elevation

- ① Canopy
- ② Accent Car
- ③ Entry Doors
- ④ Slice Wall

- ⑤ Showroom Vehicle Doors
- ⑥ Brand Signage
- ⑦ Service Signage

- EIFS-1** Ext. Insul. Finish System-Parex-Standard Watermaster - to match RAL 9010 pure white.Parex image smooth (2coats ) with parex aquasol finish
- EP-1** Exterior Paint- Benjamin Moore - to match RAL 9010 pure white

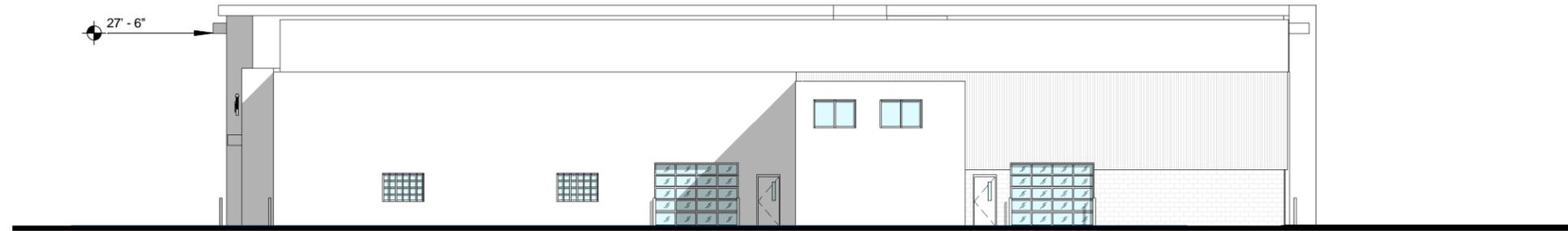
- MW-1** Prefinished Brake Metal - Kynar Aluminum -bone white- coping & trim
- CW-1** Prefinished Curtainwall -Kawneer-Kynar - Sterling gray

- GL-1** 1" Insulated Clear Glass
- GL-3** 1" spandrel glass to match GL-1

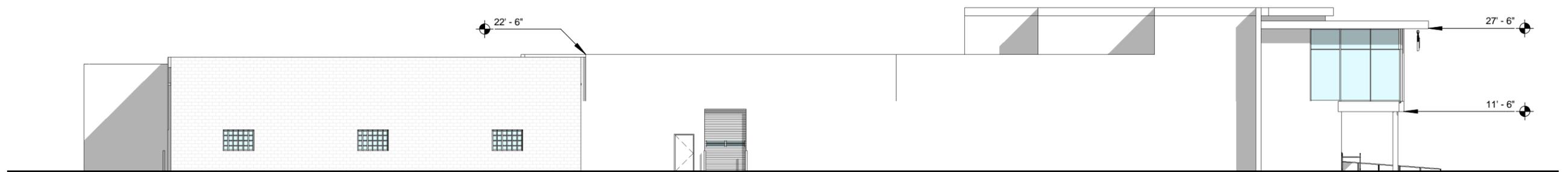


# TOWNE BMW

PROPOSED ELEVATIONS - CONTINUED 5.1



Proposed - East Elevation



Proposed - North Elevation

- |                            |                          |  |   |   |
|----------------------------|--------------------------|--|---|---|
| ① Canopy                   | ⑤ Showroom Vehicle Doors | <b>EIFS-1</b> Ext. Insul. Finish System-Parex-Standard Watermaster - to match RAL 9010 pure white.Parex image smooth (2coats ) with parex aquasol finish | <b>MW-1</b> Prefinished Brake Metal - Kynar Aluminum -bone white- coping & trim | <b>GL-1</b> 1" Insulated Clear Glass        |
| ② Accent Car w/ Slice Wall | ⑥ Brand Signage          | <b>EP-1</b> Exterior Paint- Benjamin Moore - to match RAL 9010 pure white  | <b>CW-1</b> Prefinished Curtainwall -Kawneer- Kynar - Sterling gray             | <b>GL-3</b> 1" spandrel glass to match GL-1 |
| ③ Entry Doors              | ⑦ Service Signage        |  |   |   |
| ④ Slice Wall               |                          |  |   |   |



# TOWNE BMW

PROPOSED FIRST FLOOR PLAN 3.1



PARTITION TYPE LEGEND	
	EXISTING WALL
	PROPOSED PARTITION

SHOWROOM				CUSTOMER LOUNGE				F&I /NVD				PARTS				SERVICE DRIVE				SERVICE AREA									
1	Line of canopy above	5	Client Advisor	9	Consultation Desk w/VPP	13	Car Door	21	Customer Lounge	25	Mens Restroom	31	F & I Office	35	General Manager	41	Parts Manager	45	Parts Inventory	51	Service Drive	61	Service Area	65	Tech. Restroom	69	Carwash		
2	Entry	6	Sales Manager	10	400 S.F. Per Vehicle Minimum	14	Int Sales	22	Isetta Bar	26	Retail Parts/Cashier	32	F & I Waiting	33	F & I Manager	34	New Vehicle Delivery	42	Tech Parts	46	Parts Delivery	52	Service Advisor	62	Shop Equipment	66	Heavy Tools		
3	Reception	7	Accent Car w/Slice Wall	11	EPOS Monitor	15	M Display	23	Accessory Display	27	Kids Playroom	33	F & I Manager	34	New Vehicle Delivery	43	Warranty	47	Wholesale Parts	53	Service Manager	63	Tech Locker	67	Detailing				
4	Showroom	8	Certified Pre-Owned Display	12	Color & Trim Selection display	16	I Display	24	Women's Restroom	28	Cafe Seating	34	New Vehicle Delivery	44	Specialty Tool	44	Specialty Tool	54	Files	64	Tech Breakroom	68	Mech. room						

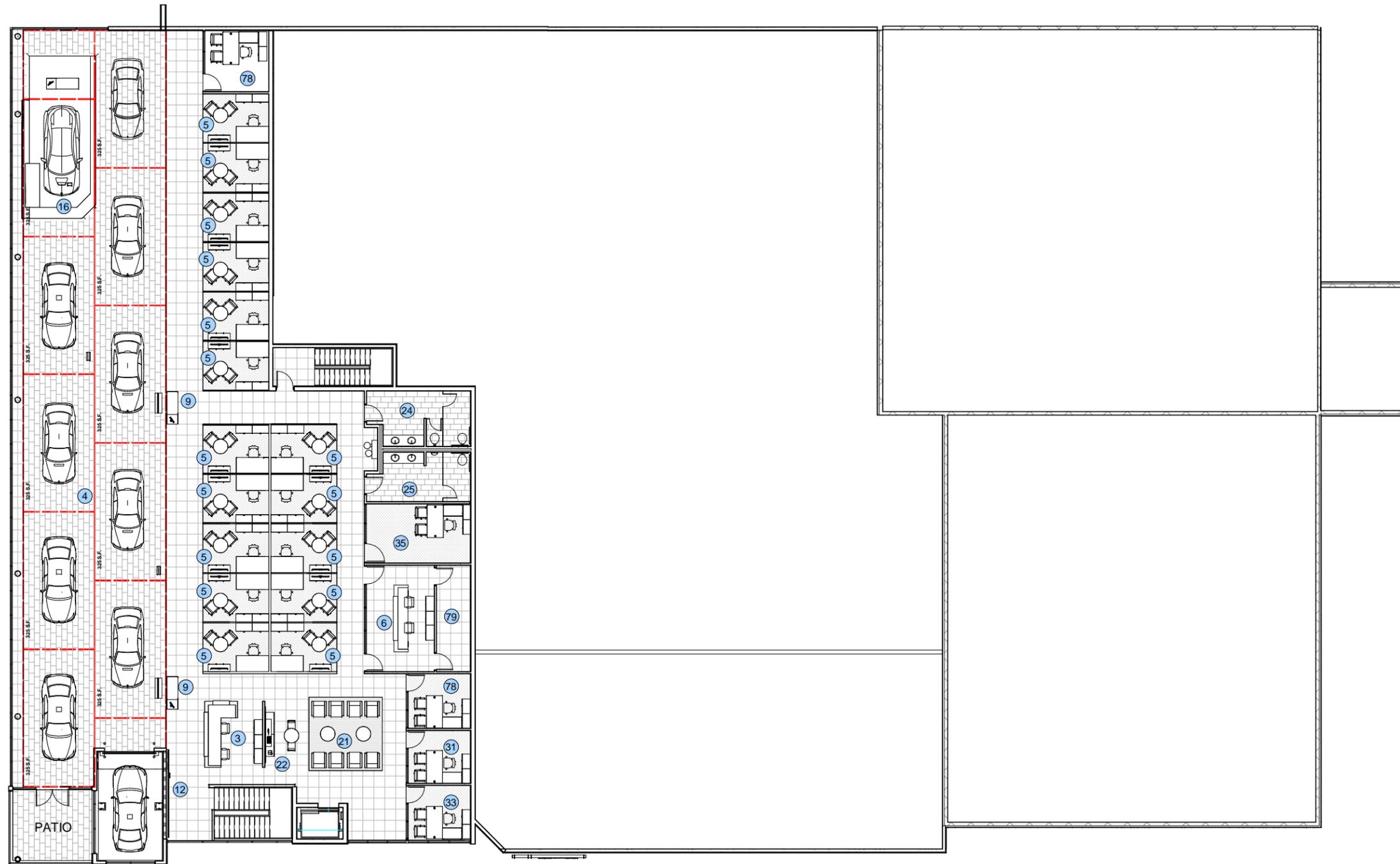
ADMIN

02/ 05 / 2016 & VERSION 5



# TOWNE BMW

PROPOSED SECOND FLOOR PLAN 3.2

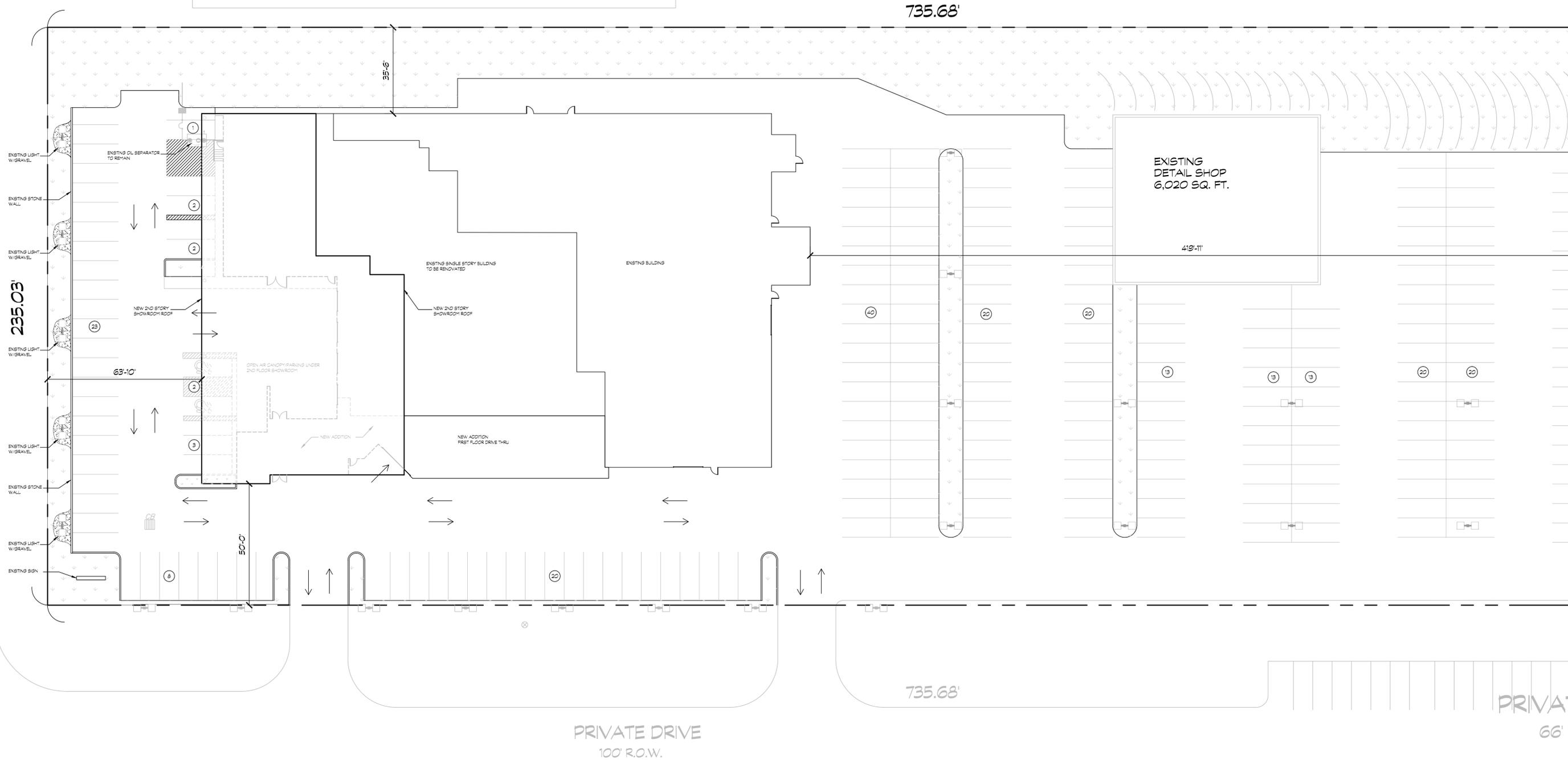


PARTITION TYPE LEGEND	
	EXISTING WALL
	PROPOSED PARTITION

SHOWROOM				CUSTOMER LOUNGE				F&I /NVD		PARTS			SERVICE DRIVE			SERVICE AREA		
1 Line of canopy above	5 Client Advisor	9 Consultation Desk w/VPP	13 Car Door	21 Customer Lounge	25 Mens Restroom	31 F & I Office	35 General Manager	41 Parts Manager	45 Parts Inventory	51 Service Drive	61 Service Area	65 Tech. Restroom	69 Carwash					
2 Entry	6 Sales Manager	10 400 S.F. Per Vehicle Minimum	Int Sales	22 Isetta Bar	26 Retail Parts/Cashier	32 F & I Waiting		42 Tech Parts	46 Parts Delivery	52 Service Advisor	62 Shop Equipment	66 Heavy Tools						
3 Reception	7 Accent Car w/Slice Wall	11 EPOS Monitor	15 M Display	23 Accessory Display	27 Kids Playroom	33 F & I Manager		43 Warranty	47 Wholesale Parts	53 Service Manager	63 Tech Locker	67 Detailing						
4 Showroom	8 Certified Pre-Owned Display	12 Color & Trim Selection display	16 I Display	24 Women's Restroom	28 Cafe Seating	34 New Vehicle Delivery		44 Specialty Tool		54 Files	64 Tech Breakroom	68 Mech. room						

ADMIN		
71 Breakroom	75 Office Manager	79 Files
72 Training	76 Restroom	
73 BDC	77 Internet Sales	
74 Administration	78 Office	

MAIN STREET  
99' R.O.W.



**SITE PLAN**  
1-20'

SITE CALCULATIONS	
EXISTING	
BUILDING	30,836 SQ. FT.
DRIVE	104,820 SQ. FT.
GREEN	39,364 SQ. FT.
TOTAL LOT AREA	175,020 SQ. FT.

PROPOSED	
BUILDING (FOOTPRINT)	37,168 SQ. FT.
DRIVE	99,716 SQ. FT.
GREEN	38,178 SQ. FT.
TOTAL LOT AREA	175,062 SQ. FT.

INTERIOR GREEN SPACE	
REQUIRED	8%, 7,277 SQ. FT.
PROVIDED	8%, 8,045 SQ. FT.

BUILDING CALCULATIONS	
PROPOSED	
1ST FLOOR EXISTING	30,836 SQ. FT.
1ST FLOOR ADDITION	6,330 SQ. FT.
2ND FLOOR ADDITION	10,325 SQ. FT.
TOTAL	47,491 SQ. FT.

PARKING BREAKDOWN	
EXISTING	299
PROPOSED	271



THIS DRAWING HAS BEEN PREPARED BY A LICENSED PROFESSIONAL ENGINEER AND SHALL NOT BE REVISED OR ALTERED IN ANY FORM WHAT SO EVER AFTER THE APPROPRIATE APPROVAL HAS BEEN AFIXED

**TOWNE BMW**  
8215 MAIN ST. CLARENCE, NY

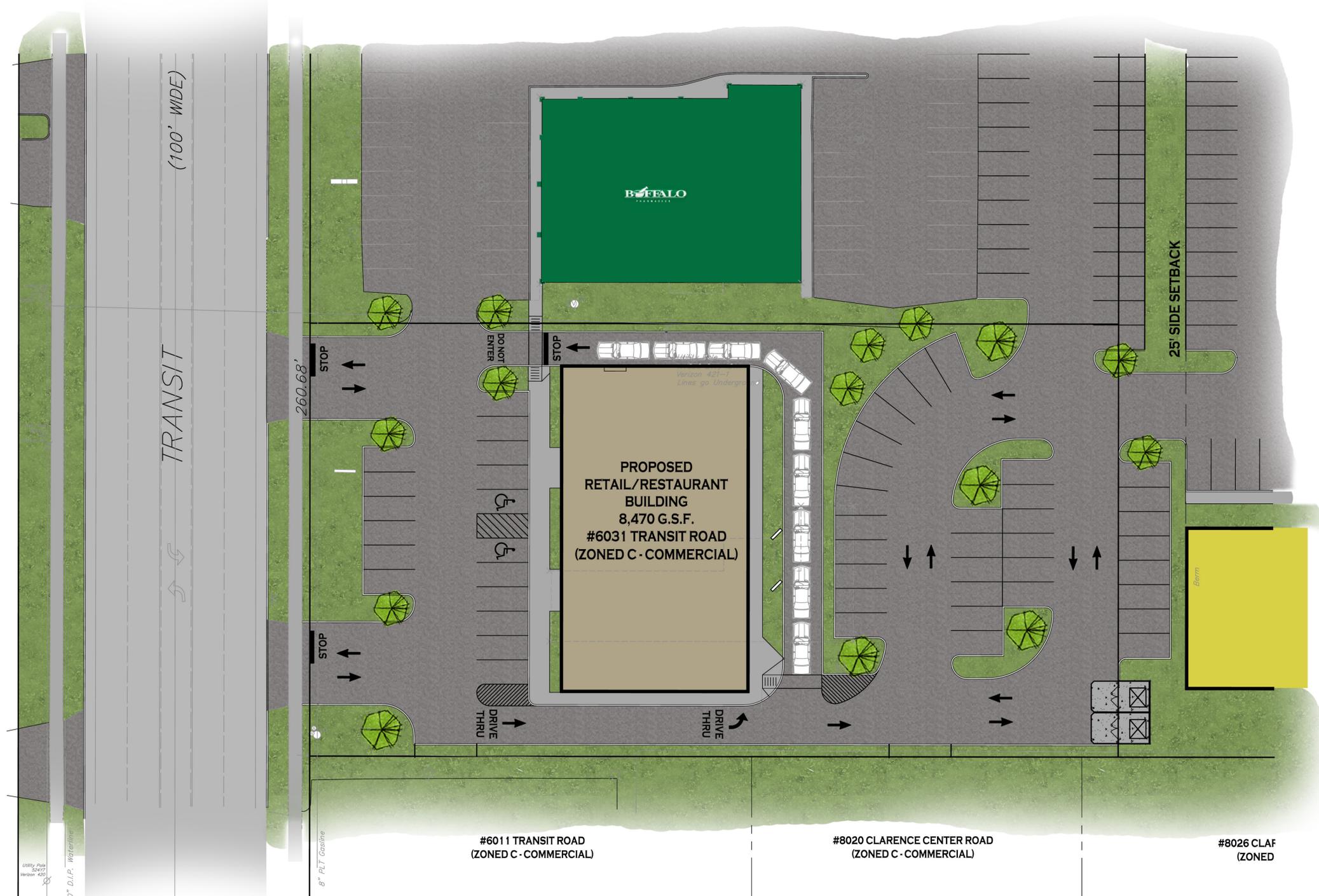
scale: AS NOTED drawn by: A.NAPLES  
date: 3-10-16 DRCC#

sheet # & title  
**SP-1** SITE PLAN

**C** D.R. CHAMBERLAIN CORPORATION  
INDUSTRIAL COMMERCIAL CONSTRUCTION  
50 SIMONDS ST., LOCKPORT, NY 14094  
ph. 716-434-7301 fax 716-434-3553

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SITE DATA - C ZONED PROPERTY		
SITE AREA = 1.1 AC		
ZONED: C (COMMERCIAL DISTRICT)		
DESCRIPTION: 8,470 G.S.F. RETAIL/RESTAURANT BUILDING W/DRIVE THRU		
<b>SETBACKS - BUILDING</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
FRONT:	80 FT	93.0 FT MIN.
SIDE/REAR (ABUTTING COMM.):	25 FT	15.34 FT MIN.
SIDE/REAR (ABUTTING RES.):	45 FT	N/A
<b>SETBACKS - PARKING</b>		
FRONT:	80 FT	20 FT MIN. *
SIDE/REAR (ABUTTING COMM.):	25 FT	3.32 FT MIN. *
SIDE/REAR (ABUTTING RES.):	45 FT	N/A
<b>GREENSPACE</b>		
TOTAL SITE (25%):	0.28 AC	0.28 AC (25%)
INTERIOR PARKING LOT (8%):	0.05 AC	0.07 AC (8.2%)
<b>PARKING</b>		
# OF SPACES - SEE CALCULATION BELOW	56	49
<b>MAX. BUILDING HEIGHT</b>	35 FT	< 35 FT
<b>LOT COVERAGE</b>	70% (33,541 SF)	17.7% (8,470 SF)
<b>DRIVE-THRU STACKING</b>	12	16

\* NOTE: PROPOSED SETBACK IS GREATER THAN THE LOCATION OF THE CURRENT EDGE OF ASPHALT PAVEMENT

**PARKING CALCULATION:**  
 "RETAIL"  
 REQ'D PARKING = 1 SPACE PER 150 GSF  
 = 8,470 GSF / 150 = 56 SPACES

**SITE PLAN**  
 SCALE: 1"=20'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD MORRIS, P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



REVISIONS:	No.	Description	Date

**PROJECT NAME:**  
 New Construction  
**Pro. Retail/Restaurant**  
 6031 Transit Road  
 Clarence, New York

Issued for Construction: xx.xx.xx  
 Municipality Submission: 4/6/16  
 Drawn by: C. Wood  
 Scale: As Noted

**DRAWING NAME:**  
 Site Plan

**DRAWING NO.**  
**C-100**  
 Project no.: 16.003

RECEIVED

APR - 8 2016

Short Environmental Assessment Form
Part 1 - Project Information

ZONING OFFICE

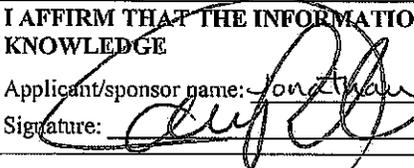
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Form with sections: Part 1 - Project and Sponsor Information, Name of Action or Project (6031 Transit), Project Location (6031 Transit Road), Brief Description of Proposed Action, Name of Applicant or Sponsor (Bevilacqua Development L.P.), Telephone (716-691-7444), E-Mail (ESTEVENS@BDVLP.COM), Address (9332 Transit Road Suite B), City/PO (East Amherst), State (NY), Zip Code (14051), and various questions regarding legislative adoption, permits, and land uses.



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: <u>Jonathan Bevilacqua</u> Date: <u>4/6/2016</u></p> <p>Signature: <u></u></p>		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: _____		Date: _____
Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Town of Clarence Planning Board	May 2016
Name of Lead Agency	Date
James Callahan	Director of Community Development
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**

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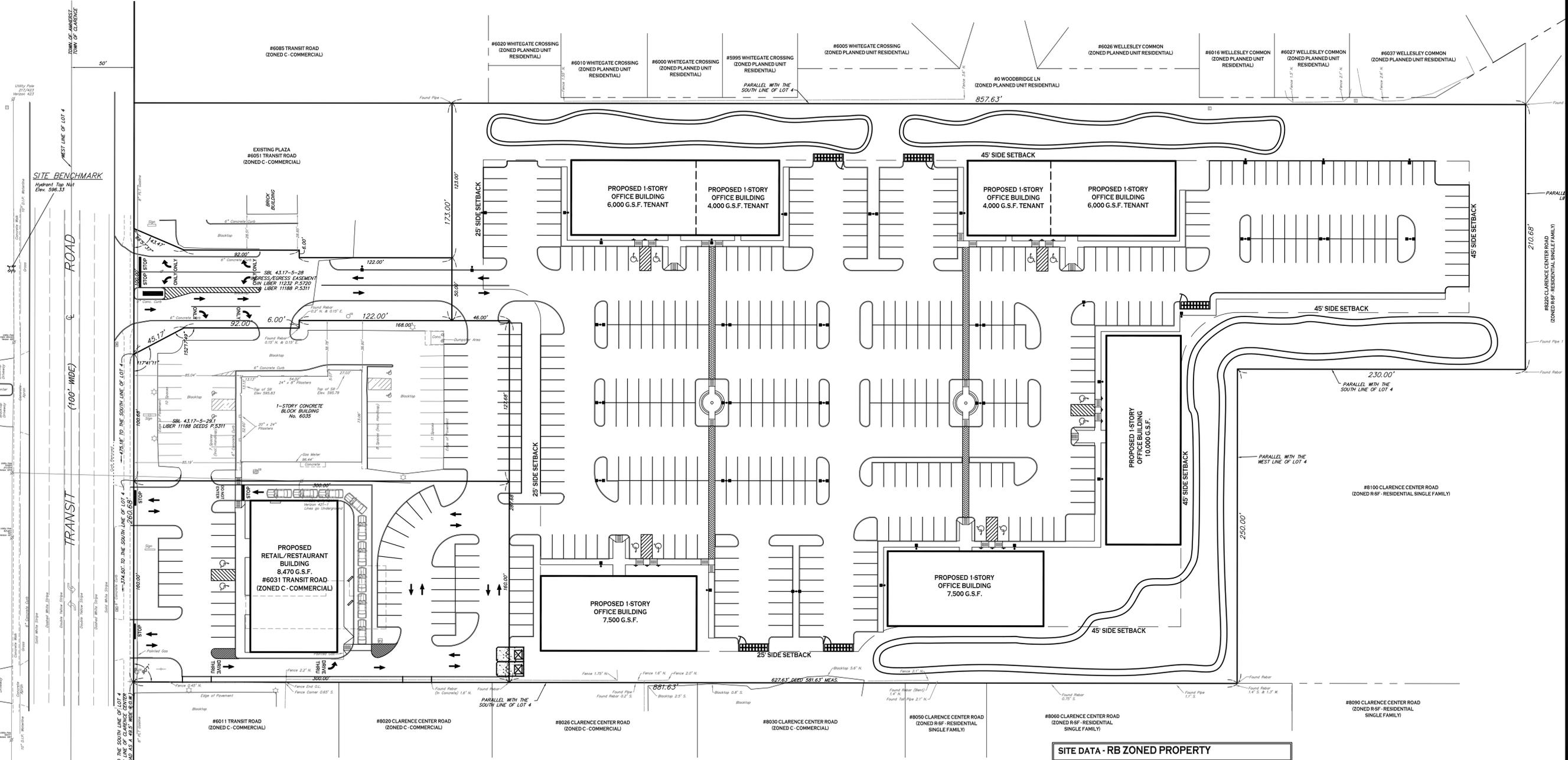
Carmina Wood Morris PC

PROJECT NAME: New Construction  
**Transit Meadow**  
 Medical & Professional Park  
 6041 Transit Road  
 Clarence, New York



REVISIONS:

No.	Description	Date



**SITE PLAN**  
 SCALE: 1"=40'

**SITE DATA - C ZONED PROPERTY**

SITE AREA = 1.1 AC  
 ZONED: C (COMMERCIAL DISTRICT)  
 DESCRIPTION: 8,470 G.S.F. RETAIL/RESTAURANT BUILDING W/DRIVE THRU

SETBACKS - BUILDING	REQUIRED	PROVIDED
FRONT:	80 FT	93.0 FT MIN.
SIDE/REAR (ABUTTING COMM.):	25 FT	15.34 FT MIN.
SIDE/REAR (ABUTTING RES.):	45 FT	N/A

SETBACKS - PARKING	REQUIRED	PROVIDED
FRONT:	80 FT	20 FT MIN. *
SIDE/REAR (ABUTTING COMM.):	25 FT	3.32 FT MIN. *
SIDE/REAR (ABUTTING RES.):	45 FT	N/A

GREENSPACE	REQUIRED	PROVIDED
TOTAL SITE (25%):	0.28 AC	0.28 AC (25%)
INTERIOR PARKING LOT (8%):	0.05 AC	0.07 AC (8.2%)

PARKING	REQUIRED	PROVIDED
# OF SPACES - SEE CALCULATION BELOW	56	49

MAX. BUILDING HEIGHT	REQUIRED	PROVIDED
	35 FT	< 35 FT

LOT COVERAGE	REQUIRED	PROVIDED
	70%	17.7%

DRIVE-THRU STACKING

REQUIRED	PROVIDED
12	16

\* NOTE: PROPOSED SETBACK IS GREATER THAN THE LOCATION OF THE CURRENT EDGE OF ASPHALT PAVEMENT

**SITE DATA - RB ZONED PROPERTY**

SITE AREA = 7.446 AC  
 ZONED: RB (RESTRICTED BUSINESS DISTRICT)  
 DESCRIPTION: (3) 10,000 GSF 1-STORY BLDG'S  
 (2) 7,500 GSF 1-STORY BLDG'S

SETBACKS - BUILDING	REQUIRED	PROVIDED
FRONT:	80 FT	N/A
SIDE/REAR (ABUTTING COMM.):	25 FT	25 FT MIN.
SIDE/REAR (ABUTTING RES.):	45 FT	45 FT MIN.

SETBACKS - PARKING	REQUIRED	PROVIDED
FRONT:	80 FT	N/A
SIDE/REAR (ABUTTING COMM.):	25 FT	25 FT MIN.
SIDE/REAR (ABUTTING RES.):	45 FT	45 FT MIN.

GREENSPACE	REQUIRED	PROVIDED
TOTAL SITE (25%):	1.86 AC	2.72 AC (36.5%)
INTERIOR PARKING LOT (8%):	0.28 AC	0.31 AC (8.8%)

PARKING	REQUIRED	PROVIDED
# OF SPACES - SEE CALCULATION BELOW	370	372

MAX. BUILDING HEIGHT	REQUIRED	PROVIDED
	35 FT	< 35 FT

LOT COVERAGE	REQUIRED	PROVIDED
	70%	13.9%

**PARKING CALCULATION:**  
 "RETAIL"  
 REQ'D PARKING = 1 SPACE PER 150 GSF  
 = 8,470 GSF / 150 = 56 SPACES

**PARKING CALCULATION:**  
 "MEDICAL OFFICE"  
 REQ'D PARKING = 1 SPACE PER 100 GSF  
 = 29,000 GSF / 100 = 290 SPACES  
 "PROFESSIONAL OFFICE"  
 REQ'D PARKING = 1 SPACE PER 200 GSF  
 = 16,000 GSF / 200 = 80 SPACES  
 TOTAL = 370 SPACES

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD MORRIS, P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

PROJECT NAME:  
 New Construction  
**Transit Meadow**  
 Medical & Professional Park  
 6041 Transit Road  
 Clarence, New York

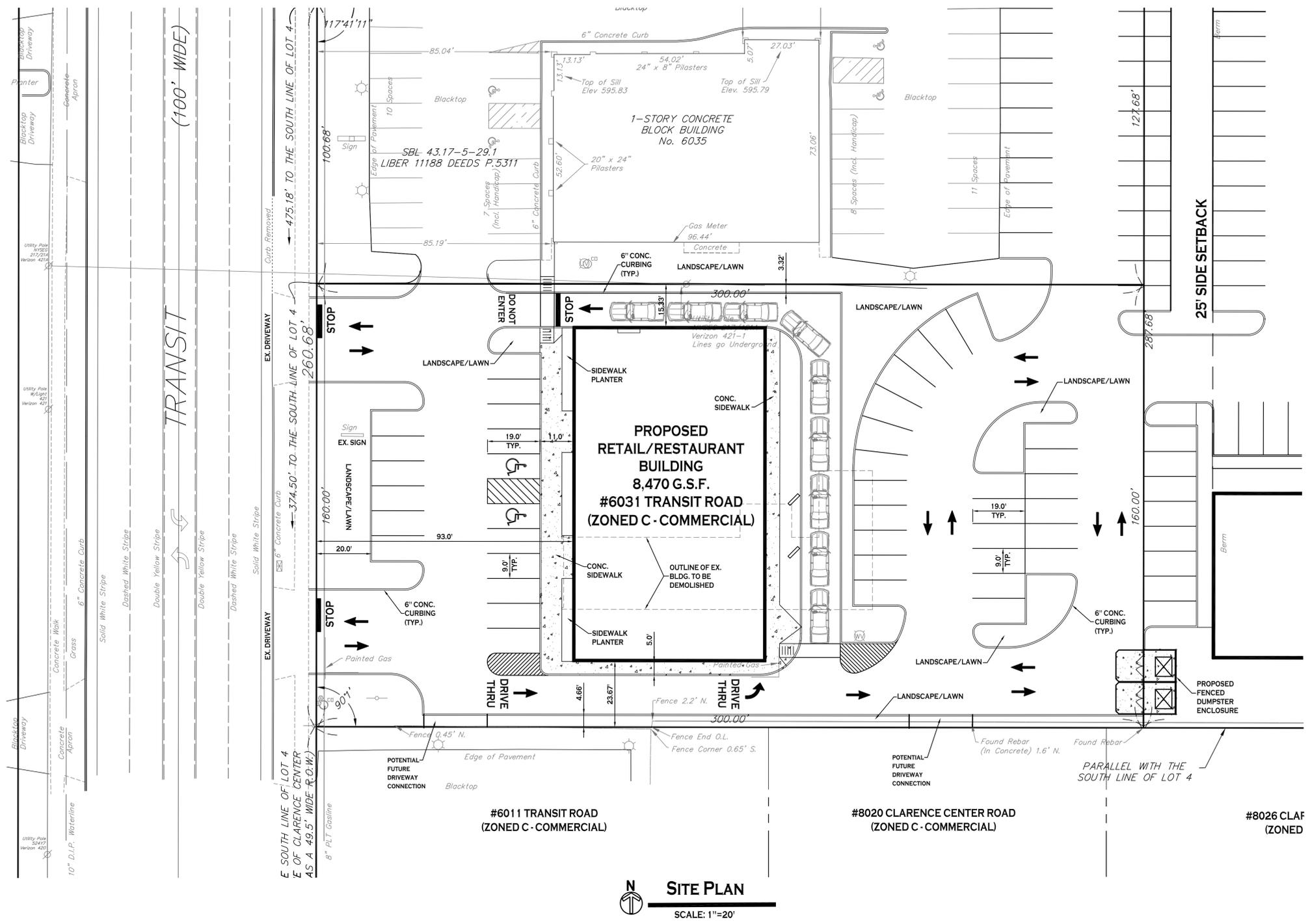
Issued for Construction: xx.xx.xx  
 Municipality Submission: 4/26/16  
 Drawn by: C. Wood  
 Scale: As Noted

DRAWING NAME:  
**Site Plan**

DRAWING NO.  
**C-100**  
 Project no.: 16.003

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Carmina Wood Morris PC



**SITE PLAN**  
SCALE: 1"=20'

SITE DATA - C ZONED PROPERTY		
SITE AREA = 1.1 AC		
ZONED: C (COMMERCIAL DISTRICT)		
DESCRIPTION: 8,470 G.S.F. RETAIL/RESTAURANT BUILDING W/DRIVE THRU		
<b>SETBACKS - BUILDING</b>		
FRONT:	REQUIRED 80 FT	PROVIDED 93.0 FT MIN.
SIDE/REAR (ABUTTING COMM.):	25 FT	15.33 FT MIN.
SIDE/REAR (ABUTTING RES.):	45 FT	N/A
<b>SETBACKS - PARKING</b>		
FRONT:	80 FT	20 FT MIN. *
SIDE/REAR (ABUTTING COMM.):	25 FT	3.32 FT MIN. *
SIDE/REAR (ABUTTING RES.):	45 FT	N/A
<b>GREENSPACE</b>		
TOTAL SITE (25%):	0.28 AC	0.28 AC (25%)
INTERIOR PARKING LOT (8%):	0.05 AC	0.07 AC (8.2%)
<b>PARKING</b>		
# OF SPACES - SEE CALCULATION BELOW	56	49
<b>MAX. BUILDING HEIGHT</b>		
	35 FT	< 35 FT
<b>LOT COVERAGE</b>		
	70%	17.7%
	(33,541 SF)	(8,470 SF)
<b>DRIVE-THRU STACKING</b>		
	12	16

\* NOTE: PROPOSED SETBACK IS GREATER THAN THE LOCATION OF THE CURRENT EDGE OF ASPHALT PAVEMENT

**PARKING CALCULATION:**  
"RETAIL"  
REQ'D PARKING = 1 SPACE PER 150 GSF  
= 8,470 GSF / 150 = 56 SPACES



487 Main Street Suite 600  
Buffalo, New York 14203  
P 716.842.3165  
F 716.842.0263

REVISIONS:	No.	Description	Date

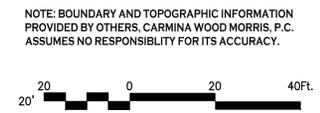


**PROJECT NAME:**  
New Construction  
**Pro. Retail/Restaurant**  
6031 Transit Road  
Clarence, New York

Issued for Construction: xx.xx.xx  
Municipality Submission: 4/6/16  
Drawn by: C. Wood  
Scale: As Noted

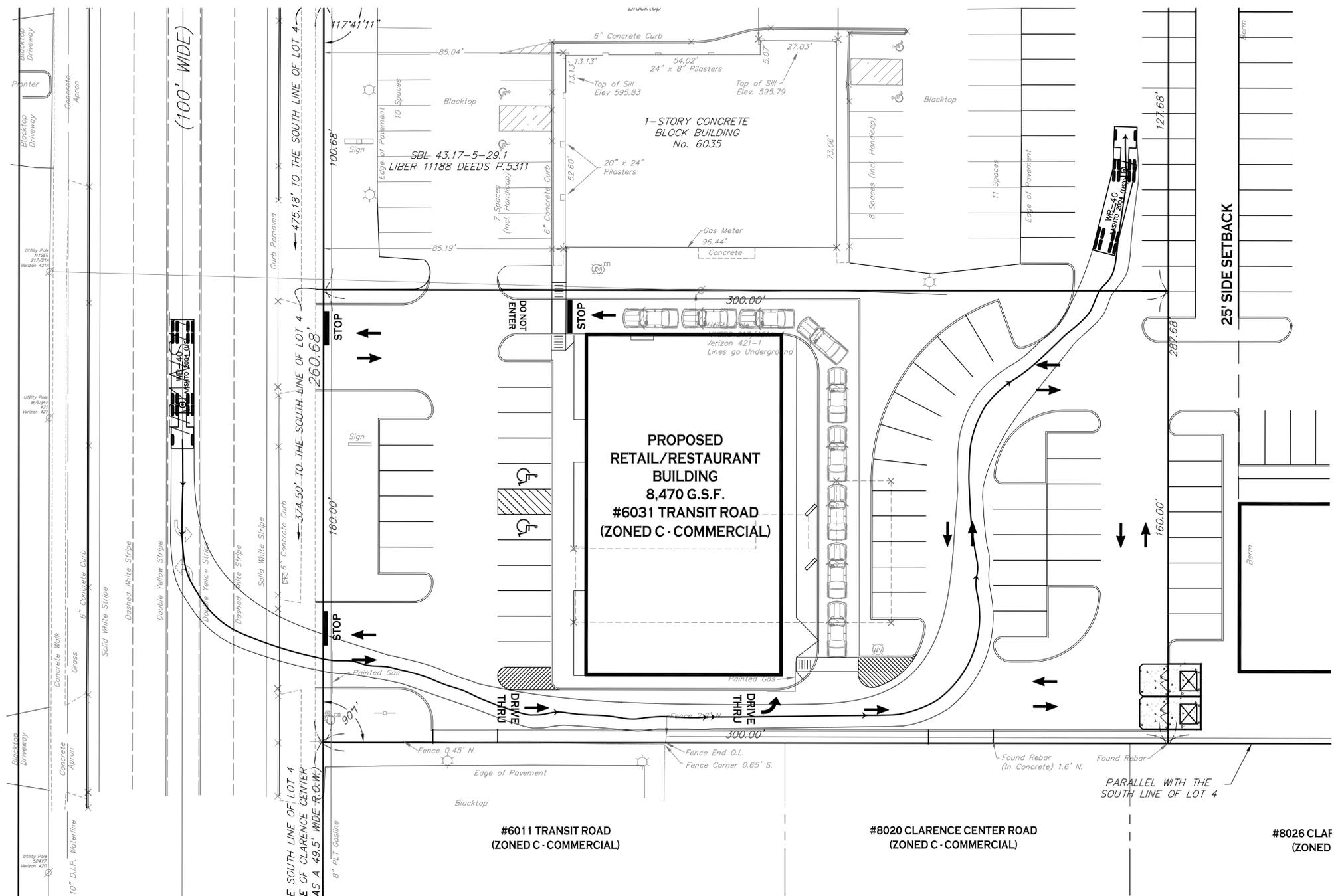
**DRAWING NAME:**  
Site Plan

**DRAWING NO.**  
**C-101**  
Project no.: 16.003

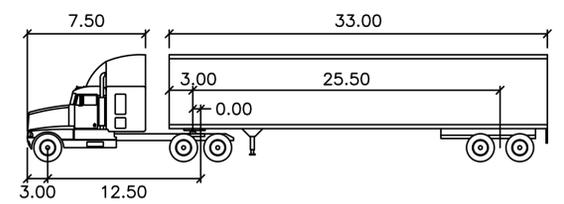


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Carmina Wood Morris PC



**SITE PLAN**  
SCALE: 1"=20'



WB-40 feet  
 Tractor Width : 8.00 Lock to Lock Time : 6.0  
 Trailer Width : 8.00 Steering Angle : 20.3  
 Tractor Track : 8.00 Articulating Angle : 70.0  
 Trailer Track : 8.00

SITE DATA - C ZONED PROPERTY		
SITE AREA = 1.1 AC		
ZONED: C (COMMERCIAL DISTRICT)		
DESCRIPTION: 8,470 G.S.F. RETAIL/RESTAURANT BUILDING W/DRIVE THRU		
<b>SETBACKS - BUILDING</b>		
FRONT:	REQUIRED 80 FT	PROVIDED 93.0 FT MIN.
SIDE/REAR (ABUTTING COMM.):	25 FT	15.34 FT MIN.
SIDE/REAR (ABUTTING RES.):	45 FT	N/A
<b>SETBACKS - PARKING</b>		
FRONT:	80 FT	20 FT MIN. *
SIDE/REAR (ABUTTING COMM.):	25 FT	3.32 FT MIN. *
SIDE/REAR (ABUTTING RES.):	45 FT	N/A
<b>GREENSPACE</b>		
TOTAL SITE (25%):	0.28 AC	0.28 AC (25%)
INTERIOR PARKING LOT (8%):	0.05 AC	0.07 AC (8.2%)
<b>PARKING</b>		
# OF SPACES - SEE CALCULATION BELOW	56	49
<b>MAX. BUILDING HEIGHT</b>		
	35 FT	< 35 FT
<b>LOT COVERAGE</b>		
	70%	17.7%
	(33,541 SF)	(8,470 SF)
<b>DRIVE-THRU STACKING</b>		
	12	16

\* NOTE: PROPOSED SETBACK IS GREATER THAN THE LOCATION OF THE CURRENT EDGE OF ASPHALT PAVEMENT

**PARKING CALCULATION:**  
 "RETAIL"  
 REQ'D PARKING = 1 SPACE PER 150 GSF  
 = 8,470 GSF / 150 = 56 SPACES

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD MORRIS, P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



REVISIONS:	No.	Description	Date



**PROJECT NAME:**  
 New Construction  
**Pro. Retail/Restaurant**  
 6031 Transit Road  
 Clarence, New York

Issued for Construction: xx.xx.xx  
 Municipality Submission: 4/6/16  
 Drawn by: C. Wood  
 Scale: As Noted

**DRAWING NAME:**  
 Truck Plan

**DRAWING NO.**  
**T-100**  
 Project no.: 16.003