

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

Prepared By:  
Sean W. Hopkins, Esq.  
Hopkins Sorgi & Romanowski PLLC  
Applicant: Camp-Roll LLC

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Proposed Open Space Design Development Residential Subdivision		
Project Location (describe, and attach a general location map): Parcel of vacant land on the north side of Roll Road between Thompson Road and Martha's Vineyard Subdivision [SBL No. 58.10-3-14]		
Brief Description of Proposed Action (include purpose or need): The proposed project ("action") consists of a clustered residential subdivision comprised of 40 lots for detached single-family homes located on a 33.75 acre parcel of vacant land on the north side of Roll Road between Thompson Road and the Martha's Vineyard Subdivision. The Project Site is zoned Residential Single Family ("R-SF") and the proposed use is expressly permitted. The clustered subdivision layout is based on the Town's Open Space Design Development ("OSDD") Overlay District standards. 17.32 acres, or 51.3%, of the Project Site will be preserved as permanent open space and there will not be any lots located within 200 ft. of the Roll Road frontage. The proposed action has been defined broadly to include all required discretionary approvals and permits as well as all proposed site improvements including proposed detached single family homes, a public roadway, a curb cut onto Roll Road, driveways, landscaping, lighting, a storm water management system, and utility improvements and connections. The project is a Type I action pursuant to SEQRA pursuant to the Town's adopted list of Type I actions but it does not cross any threshold for a Type I action in 6 NYCRR Part 617.4.		
Name of Applicant/Sponsor: Camp-Roll LLC c/o Sean Hopkins, Esq., Hopkins Sorgi & Romanowski PLLC	Telephone: 716.510-4338	E-Mail: shopkins@hsr-legal.com
Address: 5500 Main Street, Suite 311		
City/PO: Williamsville	State: NY	Zip Code: 14221
Project Contact (if not same as sponsor; give name and title/role): Same as Above	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Estate of Dorothy Cannon	Telephone:	E-Mail:
Address: 5005 Collins Avenue		
City/PO: Miami Beach	State: FL	Zip Code: 33140

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town of Clarence Town Board - Concept Plan for Open Space Design Subdivision & PIP	June 3, 2016
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Town of Clarence Planning Board - Development Plan Approval	To be determined
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Clarence Building Dept - Building Permits	To be determined
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ECHD (Water & Sanitary Sewer), ECWA (Water), ECDSM (Sanitary Sewer) & ECDPW (Highway	To be determined
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No	Work Permit)	
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS Dept. of Environmental Conservation - Downstream sewer capacity and SPDES Permit	To be determined
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, identify the plan(s): NYS Heritage Areas: West Erie Canal Corridor	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
The Project Site is zoned Residential Single Family ("R-SF") pursuant to the Town of Clarence Zoning Map

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes, [Project Site is properly zoned Residential Single Family District]

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Clarence Central School District

b. What police or other public protection forces serve the project site?  
Erie County Sheriff Department and NYS State Police

c. Which fire protection and emergency medical services serve the project site?  
Clarence Center Volunteer Fire Company

d. What parks serve the project site?  
Clarence Town Park and Sunset Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? The proposed action is a clustered residential subdivision consisting of single-family homes on individual lots.

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 33.75± acres  
 b. Total acreage to be physically disturbed? \_\_\_\_\_ 19.49± acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 33.75± acres  
 [17.32 acres of the Project Site will consist of permanent open space.]

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
Residential - Detached single-family homes on individual lots  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? 40  
 iv. Minimum and maximum proposed lot sizes? Minimum 11,600± sq ft Maximum 20,066± sqft

e. Will proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: \_\_\_\_\_ months  
 ii. If Yes:  
 • Total number of phases anticipated 2  
 • Anticipated commencement date of phase 1 (including demolition) Mar month 2017 year  
 • Anticipated completion date of final phase Oct month 2018 year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
It is anticipated that the subdivision will be constructed in 2 phases but the phasing and timing of the build-out of the residential subdivision will depend on market conditions.

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	20			
At completion of all phases	40			

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_  
 ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: Stormwater Detention  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: Surface stormwater runoff from impervious surfaces.  
 iii. If other than water, identify the type of impounded/contained liquids and their source.  
 iv. Approximate size of the proposed impoundment. Volume: TBD million gallons; surface area: 2± acres  
 v. Dimensions of the proposed dam or impounding structure: N/A height; N/A length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): Stormwater facilities will be excavated from existing earth

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): Impact to an federal wetland of approximately 0.19 acres. The Wetland Delineation Report prepared by Earth Dimensions Inc. dated ADD DATE has been submitted to the U.S. Army Corps of Engineers.

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:  
Approximately 0.17 acres of the on-site federal wetlands will be impacted.

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iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
 If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
 If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

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c. Will the proposed action use, or create a new demand for water?  Yes  No  
 If Yes:

i. Total anticipated water usage/demand per day: 21,000± gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
 If Yes:

- Name of district or service area: Erie County Water Authority
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
Extension of waterlines into subdivision to service the proposed lots.
- Source(s) of supply for the district: Lake Erie/Erie County Water Authority

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
 If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

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d. Will the proposed action generate liquid wastes?  Yes  No  
 If Yes:

i. Total anticipated liquid waste generation per day: 14,000± gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary wastewater.

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
 If Yes:

- Name of wastewater treatment plant to be used: Amherst Wastewater Treatment Plant
- Name of district: Clarence Sewer District #2
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

Yes  No  
 Yes  No  
 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
Extension of sanitary sewer line onto Project Site to service proposed lots for detached single family homes.

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
N/A

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
None.

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e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 3.7 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 33.7 acres (parcel size)
- ii. Describe types of new point sources. Stormwater outlets from detention basins/facilities
- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
Stormwater runoff will be directed to existing stormwater facilities. To be determined by final design.
- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
  - Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

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f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
Heavy equipment emissions during site construction.
- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
None.
- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
None.

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- ii. In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	7am - 6pm or as allowed by Town	• Monday - Friday:	N/A
• Saturday:	7am - 6pm or as allowed by Town	• Saturday:	N/A
• Sunday:	N/A	• Sunday:	N/A
• Holidays:	N/A	• Holidays:	N/A

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:  
Operation of construction equipment and vehicles during site work installation - this is a temporary impact.

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

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n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Street lighting and light fixtures on single family homes.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally describe proposed storage facilities: \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s):  
Potential use of lawn treatment products.

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

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r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ N/A tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ tons per \_\_\_\_\_ month (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_
- ii. Anticipated rate of disposal/processing:
  - \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
  - \_\_\_\_\_ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_
- ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_
- iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	-	3.7± acres	+3.7± acres
• Forested	5.5± acres	3.0± acres	-2.5± acres
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	20.9± acres	5.8± acres	-15.1± acres
• Agricultural (includes active orchards, field, greenhouse etc.)	-	-	-
• Surface water features (lakes, ponds, streams, rivers, etc.)	-	2.0± acres	+2.0± acres
• Wetlands (freshwater or tidal) [See Below]	7.3± acres	7.1± acres	-0.2± acres
• Non-vegetated (bare rock, earth or fill)	-	-	-
• Other Describe: <u>Lawns and Landscaping</u>	-	12.1± acres	+12.1± acres

[Note: The information regarding wetlands represents a conservative analysis premised on the U.S. Army Corps of Engineers determining that the 7.3 acre wetland on north portion of the Project Site is jurisdictional. It is the professional opinion of Earth Dimensions Inc. that the 7.3 acre wetland area is non-jurisdictional. For purposes of determining the allowable density for the Open Space Design subdivision, the 7.3 acres was treated as being a jurisdictional wetland].

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 5± feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ 0 %

c. Predominant soil type(s) present on project site:

Odessa	_____	86 %
Ovid	_____	9 %
Cazenovia	_____	5 %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 0.5-4.0 feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	5 % of site
<input type="checkbox"/> Moderately Well Drained:	_____	% of site
<input checked="" type="checkbox"/> Poorly Drained	_____	95 % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	100 % of site
<input type="checkbox"/> 10-15%:	_____	% of site
<input type="checkbox"/> 15% or greater:	_____	% of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

---

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? [There are not any mapped wetland subject to the jurisdiction of either the U.S. Army Corps of Engineers or NYS Dept. of Environmental Conservation located on the Project Site.]  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? [There are 9.884 acres that satisfy the parameters for classification of federal wetlands on the Project Site - The Wetland Delineation prepared by EDI contains its professional opinion that none of the wetlands are jurisdictional.]  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:

i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>Deer _____ Rabbits _____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p>_____</p> <p>ii. Source(s) of description or evaluation: _____</p> <p>iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>i. If Yes: acreage(s) on project site? _____</p> <p>ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p>ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. CEA name: _____</p> <p>ii. Basis for designation: _____</p> <p>iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within fives miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
	<input type="checkbox"/> Yes <input type="checkbox"/> No

**F. Additional Information**

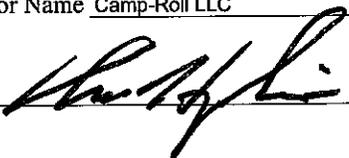
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Camp-Roll LLC Date June 3, 2016

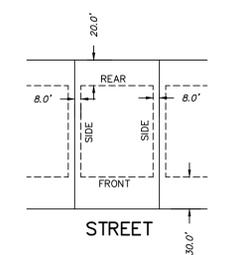
Signature  Title Attorney for Applicant/Project Sponsor



**Site Data**

Present Zoning: R-SF (Residential Single Family)  
 Proposed utilizing the Open Space Overlay District  
 Lots:  
 Number shown: 40  
 Minimum lot width at setback: 80'  
 Minimum lot area shown: 11,600± sq.ft.  
 Site Area: 33.751± acres  
 Open Space: 17.32± acres (51.3%)  
 Anticipated Wetland Impact: 0.17± acres

**TYPICAL LOT SETBACK DEPICTION**



**Roll Road Subdivision  
 SKETCH PLAN**

**GPI** GREENMAN-PEDERSEN, INC.  
 CONSULTING ENGINEERS  
 ENGINEERING • SURVEYING • PLANNING  
 SURVEYING SERVICES PERFORMED BY GRI ENGINEERING AND SURVEYING LLP  
 4000 SENECA STREET SUITE 100 BUFFALO, NY 14225  
 (716) 633-4844 FAX (716) 633-4940

DRAWN: KCC	JOB NO.: 2016012	SHEET NO.:
CHECKED:	DATE: MAY 2016	
APPROVED:	SCALE: 1" = 80'	

T.B.  
mtg  
5-28-14

Dave Horbinski said he spoke at the last meeting objecting to the recreational trail going along his property from this subdivision. The original easements for the Heise-Brookhaven sewer trunk were for the sewer and never intended to have a recreational trail put on it. He hopes the Town Board maintains that view in the future. It may not mean anything in 100 years, but it means a lot to those who live here now.

Don Schultz said the Town had the chance to buy that farm and the land years ago. They did not come up with the money and Mr. Hallac came along and bought it. He has done a good job preserving it. He admires him for doing that.

Councilman Kolber said he thought the Town tried to buy and the seller would not sell it to the Town. It was one of the first properties they tried to buy under the greenprint project. The developer purchased this property and had the agreement in place for the sewer taps as part of the Heise-Brookhaven Sewer Agreement. This was done prior to his being on the Town Board. We have to be fair to all people. Nobody wants to see more development, but it is a reality. We have to try to do it in the best possible way with the least impact.

Jeff Palumbo said the only thing that makes sense is to move the lots to the other side of the roadway from where they are.

Councilman Kolber said then you are getting closer to Greiner Road.

Councilman Casilio said you could also move the recreation trail to the other side where the houses were. We could pull these two lots and work it out at a later date.

Mr. Palumbo said they would like to get this approval tonight. They will continue to work with the Town on this but there are not a lot of options.

Mary Aldrich said there are four homes proposed going in her backyard on Shadyside Drive with this development. She is disgusted that the Board is allowing these many homes to be put in. She has 1½ acres of open area around her home in an estate type setting. She will be looking at a wall of homes. She did not think that this was what Clarence was supposed to be about. She is disappointed. The classes at the high school are overcrowded and she looks at that too.

Councilman Kolber said the developer has certain rights with ownership of property. It meets all of the zoning codes. It is an open space design which allows for a buffer around it, rather than have the lots consume the entire property. The buffer from the back of her lot is 100 ft. to 125 ft.

With no one else speaking to the subject, motion was made by Councilman Kolber, seconded by Councilman Geiger to close the Public Hearing. Upon roll call - Ayes: Council Members Geiger, DiCostanzo, Casilio and Kolber; Noes: None. Absent: Supervisor Hartzell. Motion carried.

Motion by Councilman Casilio, seconded by Councilman Kolber to adopt the following resolution:

Be it Resolved, that after a public hearing duly held on May 28, 2014, and after all interested parties being heard, the Clarence Town Board approves the request of the applicant for the formation of an Open Space Design Overlay for the proposed Northwoods Subdivision located on the north side of Greiner Road, east of Shimerville Road and approves an extension of Clarence Sewer District No. 6 to the boundaries of the overlay subject to the following conditions:

T.B.  
mtg  
5-28-14

T.B.  
mtg.  
5-28-14

1. As depicted in the Attached Exhibit A and further described as follows:
  - a. Applicant clears, boxes and stones the recreational trail from Roll Road, opposite Dana Marie Parkway, adjacent to and within the right of way of Road D from Roll Road along the east side and extending to the southern side of the Sun Oil Pipeline Easement. The required separation from the access road to be a minimum of ten (10) feet of grass area from the curb of Road D. Recreational trail standards to be 10' wide with 2' shoulders and the minimum depth of the stone base to be 6" as verified and approved by the Town Engineer.
  - b. Applicant clears, boxes and stones the recreational trail from Greiner Road, opposite Brookfield Lane, adjacent to and within the right of way of Road A from Greiner Road along the west side and extending north to Road B. The required separation from the access road to be a minimum of 10' wide with 2' shoulders and the minimum depth of the stone base to be 6" as verified and approved by the Town Engineer.
  - c. A 20' easement to be provided for construction of a future recreation trail along the north and west side of sublots 81 through 87 and sublots 135 through 145, connecting the Road A recreation trail with the Road D recreational trail (a striped street crossing with signage, as approved by the Highway Superintendent on the required Road D trail crossing).
  - d. A 20' easement to be provided for construction of a future recreation trail from Road D to the east property line of the project along or adjacent to the Heise-Brookhaven Trunk Sewer Line Easement.
  - e. Removal of Sidewalks shown in blue on the drawing.
  - f. Maintenance Roads within access easements for drainage facilities to be constructed by the developer and approved by the Town Engineer.
  - g. Home Owners Association Agreement to be provided to the Town Attorney's office for review and approval and once approved to be recorded in the Erie County Clerk's office with a filed copy to be provided to the Town Attorney.
2. Minimum side yard setback requirements to be 6.5' for all lots.
3. Applicant agrees to pay the Recreation Fees of \$68,000.00 in lieu of providing completed recreational amenities on the project.
4. Applicant agrees to resolve the layouts of lots 150 and 151 at a later date to be approved by the Town Board.

Be It Further Resolved, that Clarence Sewer District No. 6 be extended per the Map, Plan and Report dated March 2014 prepared by Passero Associates.

Upon roll call - Ayes: Council Members Geiger, DiCostanzo, Casilio and Kolber; Noes: None. Absent: Supervisor Hartzell. Motion carried.

T.B.  
mtg.  
5-28-14

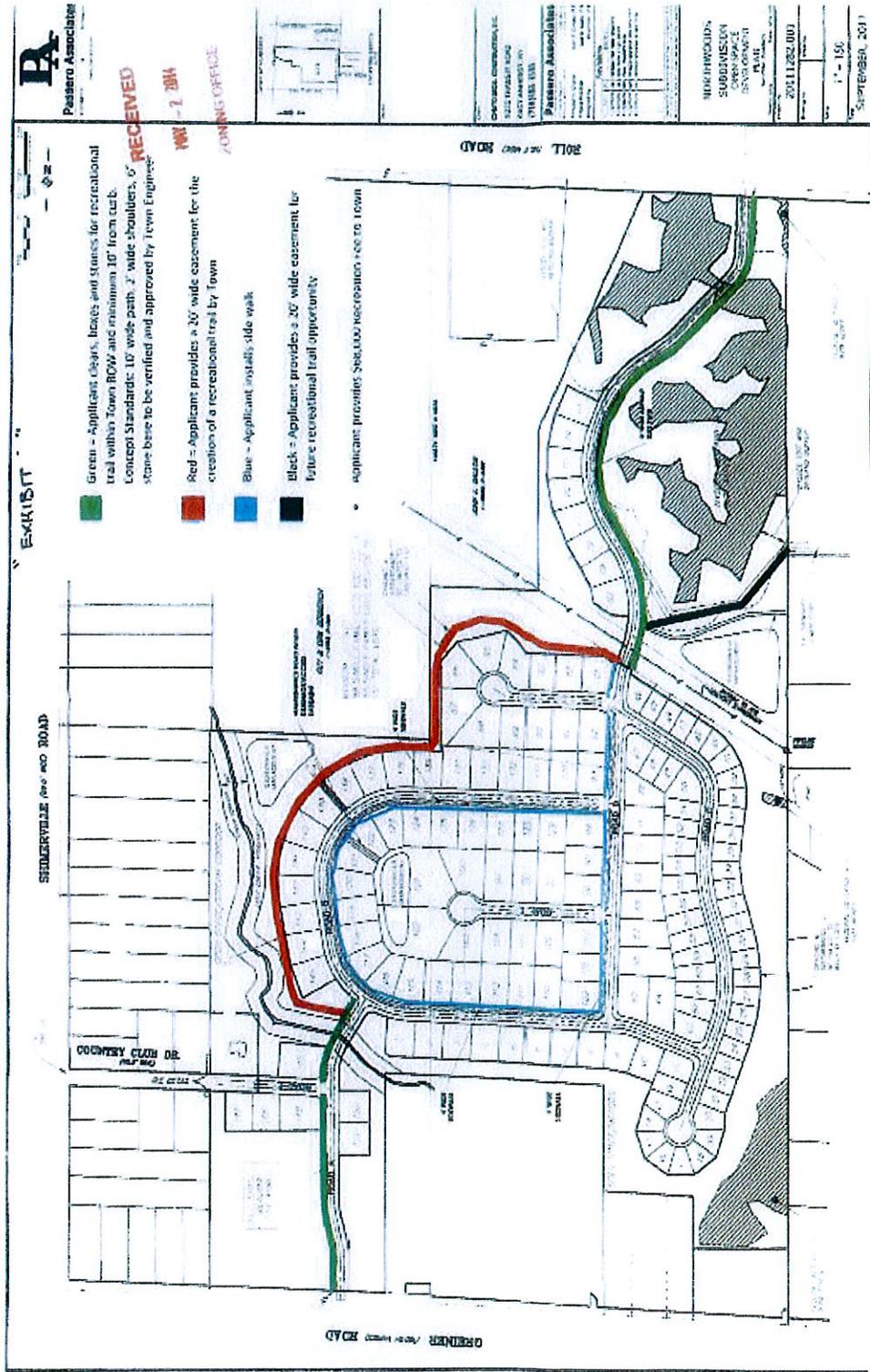
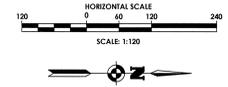


Exhibit A

# SITE DEVELOPMENT PLANS FOR NORTHWOODS SUBDIVISION TOWN OF CLARENCE, ERIE COUNTY, NEW YORK P.N. 20111282.0002



### DRAWING INDEX

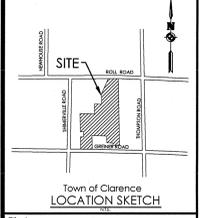
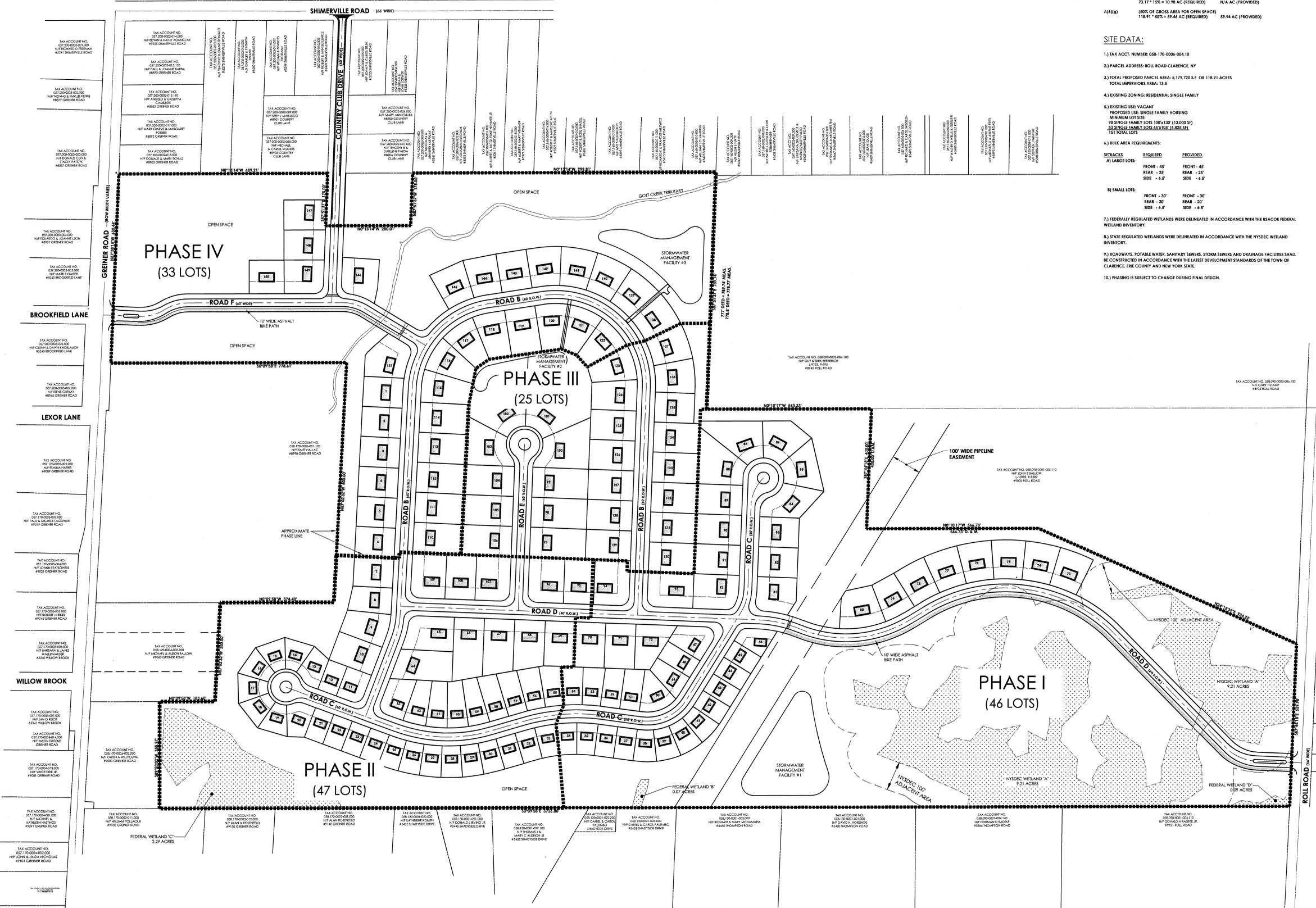
- C 101 OVERALL SITE PLAN
- C 102 SUBDIVISION PLAN
- C 103 SUBDIVISION PLAN
- C 104 SUBDIVISION PLAN
- C 105 UTILITY PLAN
- C 106 UTILITY PLAN
- C 107 UTILITY PLAN
- C 108 GRADING & EROSION CONTROL PLAN
- C 109 GRADING & EROSION CONTROL PLAN
- C 110 GRADING & EROSION CONTROL PLAN
- C 111 LOT GRADING PLAN
- C 112 LOT GRADING PLAN
- C 113 LOT GRADING PLAN
- C 114 PROFILES
- C 115 PROFILES
- C 116 PROFILES
- C 200 DETAILS
- C 201 DETAILS
- C 202 DETAILS
- C 203 DETAILS
- C 204 DETAILS

### OPEN SPACE DEVELOPMENT

CODE SECTION	SUBTRACTION	REMAINING AREA
229-108		118.91 AC
A(3)(a)	UTILITIES, BASINMENTS, ROWS SINCOL PIPELINE EASEMENT	2.57 AC
A(3)(b)	(WATER BODIES, WOODS, WETLANDS) FEDERAL WETLANDS (SE CORNER) NYSDEC WETLANDS + WOODS BRANCH GOTT CREEK + WOODS FEDERAL WETLAND 'B'	2.29 AC 24.86 AC 81.54 AC 0.07 AC
A(3)(c)	(AREAS DEEMED UNFAVORABLE) HYDRIC SOILS	4.21 AC
A(3)(d)	(PUBLIC STREETS AND ROWS) ROW 10% REMAINING AREA	7.73 AC
A(3)(e)	(MAX # OF DWELLING UNITS) 89.53 AC * 48,500 SF / 20,000 SF	151 LOTS
A(3)(f)	(15% OF ADJUSTED GROSS FOR MAINTAINED OPEN SPACE) 73.17 * 15% = 10.98 AC (REQUIRED)	N/A AC (PROVIDED)
A(3)(g)	(50% OF GROSS AREA FOR OPEN SPACE) 118.91 * 50% = 59.46 AC (REQUIRED)	59.94 AC (PROVIDED)

### SITE DATA:

- 1) TAX ACCT. NUMBER: 088-170-0006-004.10
  - 2) PARCEL ADDRESS: ROLL ROAD CLARENCE, NY
  - 3) TOTAL PROPOSED PARCEL AREA: 6,179,720 S.F. OR 118.91 ACRES  
TOTAL IMPERVIOUS AREA: 13.5
  - 4) EXISTING ZONING: RESIDENTIAL SINGLE FAMILY
  - 5) EXISTING USE: VACANT
  - 6) PROPOSED USE: SINGLE FAMILY HOUSING  
MINIMUM LOT SIZE:  
18 SINGLE FAMILY LOTS 100'x130' (13,000 SF)  
15 SINGLE FAMILY LOTS 65'x105' (6,825 SF)  
151 TOTAL LOTS
  - 7) BULK AREA REQUIREMENTS:
- | SETBACKS      | REQUIRED    | PROVIDED    |
|---------------|-------------|-------------|
| A) LARGE LOTS |             |             |
|               | FRONT - 45' | FRONT - 45' |
|               | REAR - 25'  | REAR - 25'  |
|               | SIDE - 6.5' | SIDE - 6.5' |
| B) SMALL LOTS |             |             |
|               | FRONT - 30' | FRONT - 30' |
|               | REAR - 20'  | REAR - 20'  |
|               | SIDE - 6.5' | SIDE - 6.5' |
- 7) FEDERALLY REGULATED WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE USFWS FEDERAL WETLAND INVENTORY.
  - 8) STATE REGULATED WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE NYSDEC WETLAND INVENTORY.
  - 9) ROADWAYS, POTABLE WATER, SANITARY SEWERS, STORM SEWERS AND DRAINAGE FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST DEVELOPMENT STANDARDS OF THE TOWN OF CLARENCE, ERIE COUNTY AND NEW YORK STATE.
  - 10) PHASING IS SUBJECT TO CHANGE DURING FINAL DESIGN.



Client:  
**CIMATO BROS. CONSTRUCTION, INC.**  
9220 TRANSIT ROAD  
EAST AMHERST, NY 14051  
(716) 688-3586

**PASSERO ASSOCIATES**  
224 West Main Street, Suite 100  
Buffalo, New York 14202  
Phone: (716) 885-0991  
Principal-In-Charge: John F. Caruso, P.E.  
Project Manager: Jess D. Sudol, P.E.  
Designed by: Matt Newcomb



Revisions		
No.	Date	Description

**OVERALL SITE PLAN**  
**NORTHWOODS SUBDIVISION**  
BEING A PART OF LOTS 8, 9, 10, SECTION 10, TOWNSHIP 13, RANGE 6, & 7, COUNTY OF CLARENCE, ERIE COUNTY, NEW YORK

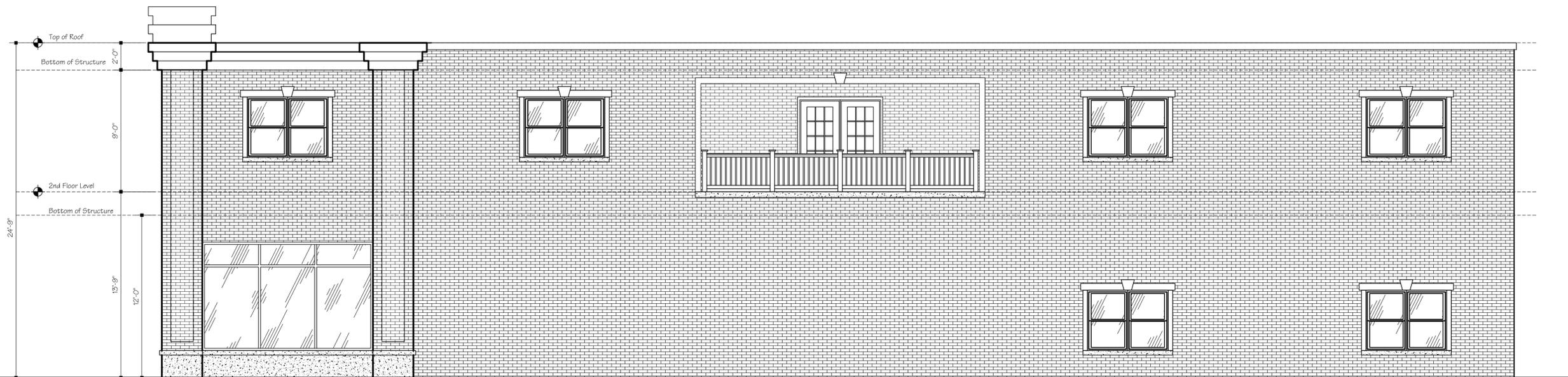
Project No.	20111282.002	
Drawing No.	C 101	Sheet 1
Scale:	1"=120'	
Date:	AUGUST 2014	





A1.1 Front Elevation

1/4" = 1'-0"



A1.2 Right Side Elevation

1/4" = 1'-0"



5409 Main Street  
(Second Floor)  
Williamsville, NY 14221  
(716) 932-7156 Fax 932-7873

Job Number:  
**12-407**

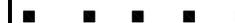
Proposed  
Elevations  
For:



**6449 Transit  
Road**



6449 Transit Road



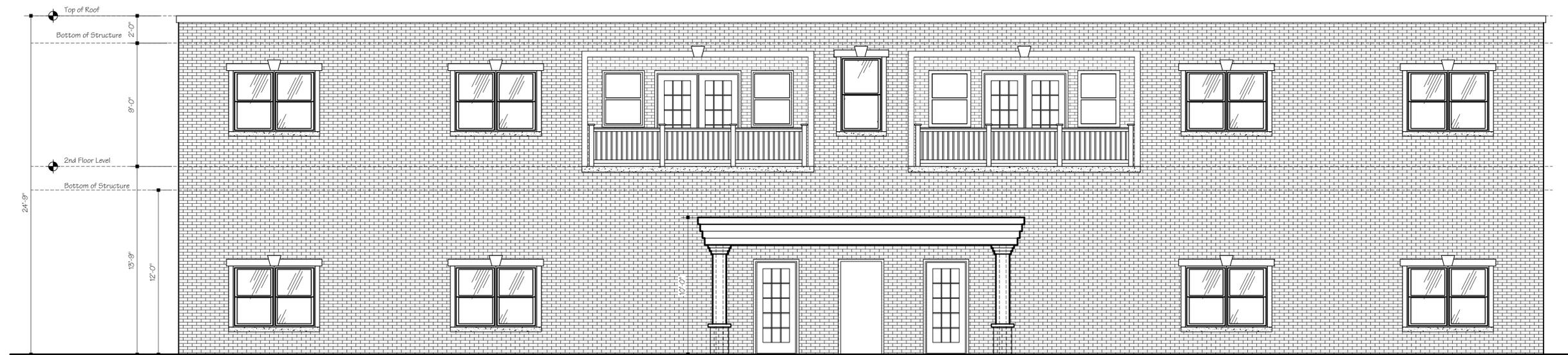
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No.	Description	Date	By

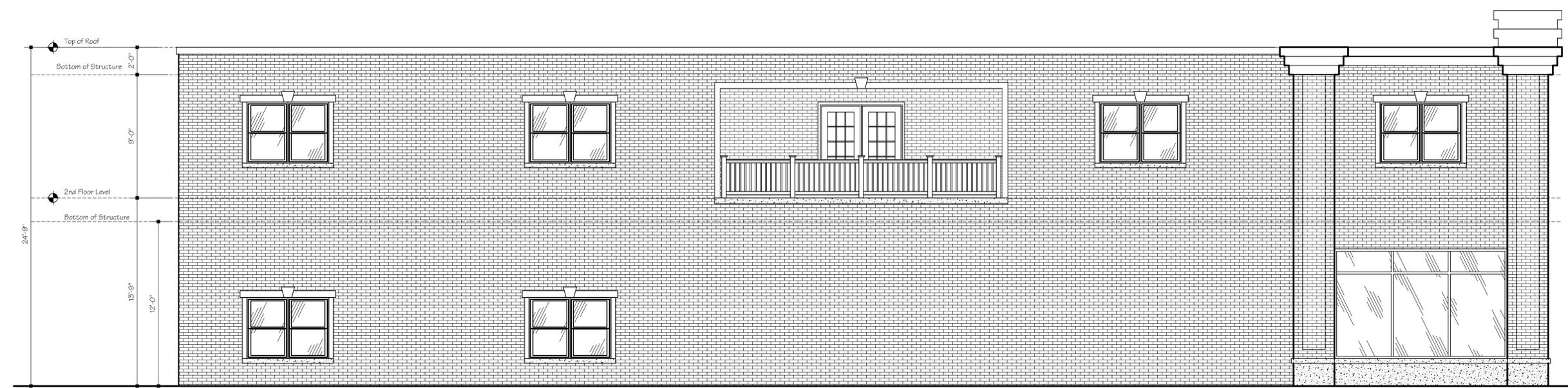
**WARNING:**  
It is a violation of Article 147, Section 7503  
of the New York State Education Law for any  
person to alter an item, in any way, on this  
document, unless under the direction of a  
licensed Architect.

Title:  
**Elevations**

Drawn By: <b>M. Berger</b>	Sheet No.:
Date: <b>09-18-15</b>	<b>A-1</b>
Checked: <b>D. Sutton</b>	
Scale: <b>1/4" = 1'-0"</b>	



A2.1 Rear Elevation



A2.2 Left Side Elevation



5409 Main Street  
 (Second Floor)  
 Williamsville, NY 14221  
 (716) 932-7156 Fax 932-7873

Job Number:  
**12-407**

Proposed Elevations For:

■ ■ ■ ■ ■

**6449 Transit Road**

■ ■ ■ ■ ■

6449 Transit Road

■ ■ ■ ■ ■

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No.	Description	Date	By

**WARNING:**  
 It is a violation of Article 147, Section 7503 of the New York State Education Law for any person to alter an item, in any way, on this document, unless under the direction of a licensed Architect.

Title:  
**Elevations**

Drawn By: <b>M. Berger</b>	Sheet No.:
Date: <b>09-18-15</b>	<b>A-2</b>
Checked: <b>D. Sutton</b>	
Scale: <b>1/4" = 1'-0"</b>	

**TOWN OF CLARENCE**  
*ENGINEERING and BUILDING DEPARTMENTS*  
6221 Goodrich Road  
Clarence Center, NY 14032  
716-741-8952  
FAX: 716-407-8915



*Timothy M. Lavocat, P.E., CFM*  
Town Engineer

June 28, 2016

Michael Metzger, P.E.  
Metzger Civil Engineering, PLLC  
8560 Main Street  
Williamsville, New York 14221

**RECEIVED**

JUN 27 2016

**ZONING OFFICE**

**Re: The Abbey**  
**6449 Transit Road**  
**Development Plan Submittal #5**

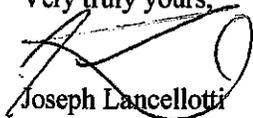
Dear Mr. Metzger:

The Town of Clarence Engineering Department received the development plan information for the above referenced project dated January 19, 2016 and received by this department June 21, 2016. **The Development Plan meets the technical requirements of the Engineering Department and is subject to the conditions below. Additional Town Committee/Board approvals are required for final Development Plan approval.**

1. Private Improvement Permits (PIP's) are required for pavement and curbing, storm drainage and grading and fire protection main prior to any site work.
2. All sheets of the PIP plans are to be wet stamped and signed. Three (3) sets of plans are required to be submitted with the PIP applications.
3. All conditions of approval by the Engineering Department and the Planning Board Resolution for Development Plan approval shall be clearly presented on the cover sheet of the PIP Plans.
4. Only approved plan sets bearing the signature of the Town Engineer shall be considered valid plans to be used on site. All sheets of PIP plans to be clearly labeled "ISSUED FOR CONSTRUCTION".
5. SWPPP Fee and Application must be submitted prior to issuance of PIP's.
6. An acknowledgement letter from the NYSDEC must be provided prior to issuance of PIP's.
7. Full compliance with and all signatory requirements of GP-0-15-002 are required.
8. The Owner/Operator, qualified inspector and contractor certifications, as part of the SWPPP must be signed prior to issuance of PIP's.
9. Please be advised that SWPPP site inspections are required under permit GP-0-15-002 and are the responsibility of the owner/operator to ensure continued maintenance of the stormwater management system. The maintenance agreement required under permit GP-0-15-002 is required prior to certificate of occupancy.
10. A preconstruction meeting is required prior to issuance of PIP's.

Please feel free to contact us should you have any questions.

Very truly yours,



Joseph Lancellotti  
Civil Engineer

Cc: James B. Callahan, Director of Community Development  
David Metzger, Sr. Code Enforcement Officer, Fire Inspector  
Jeff Wilson, Code Enforcement Officer  
Russell Salvatore, Jr., 6461 Transit Road, Depew, NY 14043  
File