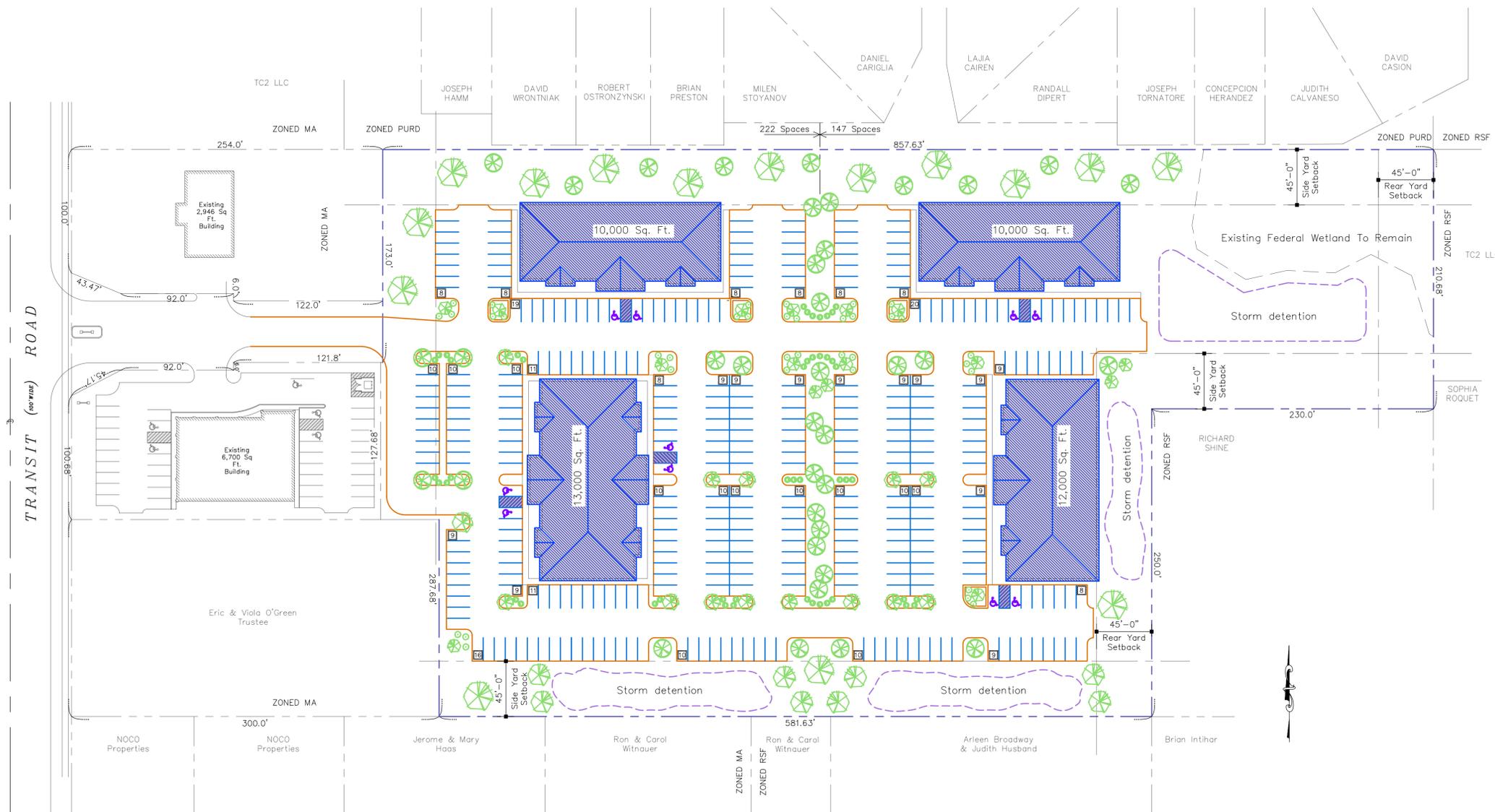


Location Map



Proposed Elevation Rendering



SITE DATA	
ZONING	MAJOR ARTERIAL
PROPERTY SIZE	7.5± ACRES
WETLANDS	AS SHOWN (NOT IMPACTED)
100 YR FLOOD PLAIN	NONE
	REQUIRED PROPOSED
MIN. ROAD FRONTAGE	100' 100'
FRONT YARD SETBACK	135' 382'
REAR YARD SETBACK TO MATCHING ZONE	25' 45'
REAR YARD SETBACK TO RESIDENTIAL	45' 45'
SIDE YARD SETBACK TO MATCHING ZONE	25' 45'
SIDE YARD SETBACK TO RESIDENTIAL	45' 45'
BUILDING HEIGHT	45' <30'
PARKING SPACES	
OFFICE 1/200 SQFT	225 369
MEDICAL OFFICE 1/100	450
HANDICAPPED PARKING	5/9 10
GREEN SPACE	25% 39%

AVAILABILITY OF UTILITIES	
WATER:	AVAILABLE
GAS:	AVAILABLE
ELECTRIC:	AVAILABLE
SANITARY SEWER:	AVAILABLE

NOTES

- 1) SURVEY AND WETLAND INFORMATION PROVIDED BY BISSELL STONE AND LARRY ZYGAL SURVEYING.
- 2) ADJACENT PROPERTY OWNERSHIP INFORMATION IS BASED ON DATA FROM THE ERIE COUNTY INTERNET MAPPING SERVICE.
- 3) THIS IS NOT A PROPERTY SURVEY.



Designed By: ARH
 Drawn By: ARH
 Checked By: MUM
 Cad File: M 1113

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW

MCE METZGER CIVIL ENGINEERING, PLLC

8560 MAIN ST.
 WILLIAMSVILLE, NY 14221
 PH: 716-633-2601
 FAX: 716-633-2704

CIVIL ENGINEERING
 LAND PLANNING
 SITE DESIGN
 MUNICIPAL ENGINEERING

6031 TRANSIT ROAD

TOWN OF CLARENCE, ERIE COUNTY, NEW YORK

AMENDED CONCEPT PLAN

SCALE: 1" = 50'
 DATE: MARCH 8, 2012
 JOB NO: M-1113
 SHEET NO: CP-1

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Carmina Wood Morris PC

100' WIDE TRANSIT ROAD



487 Main Street Suite 600
Buffalo, New York 14203
P 716.842.3165
F 716.842.0263

REVISIONS:
No. Description
1 Added Addresses, Elec. Transformer
2 Rem. Easterly Parking, Update Calc.

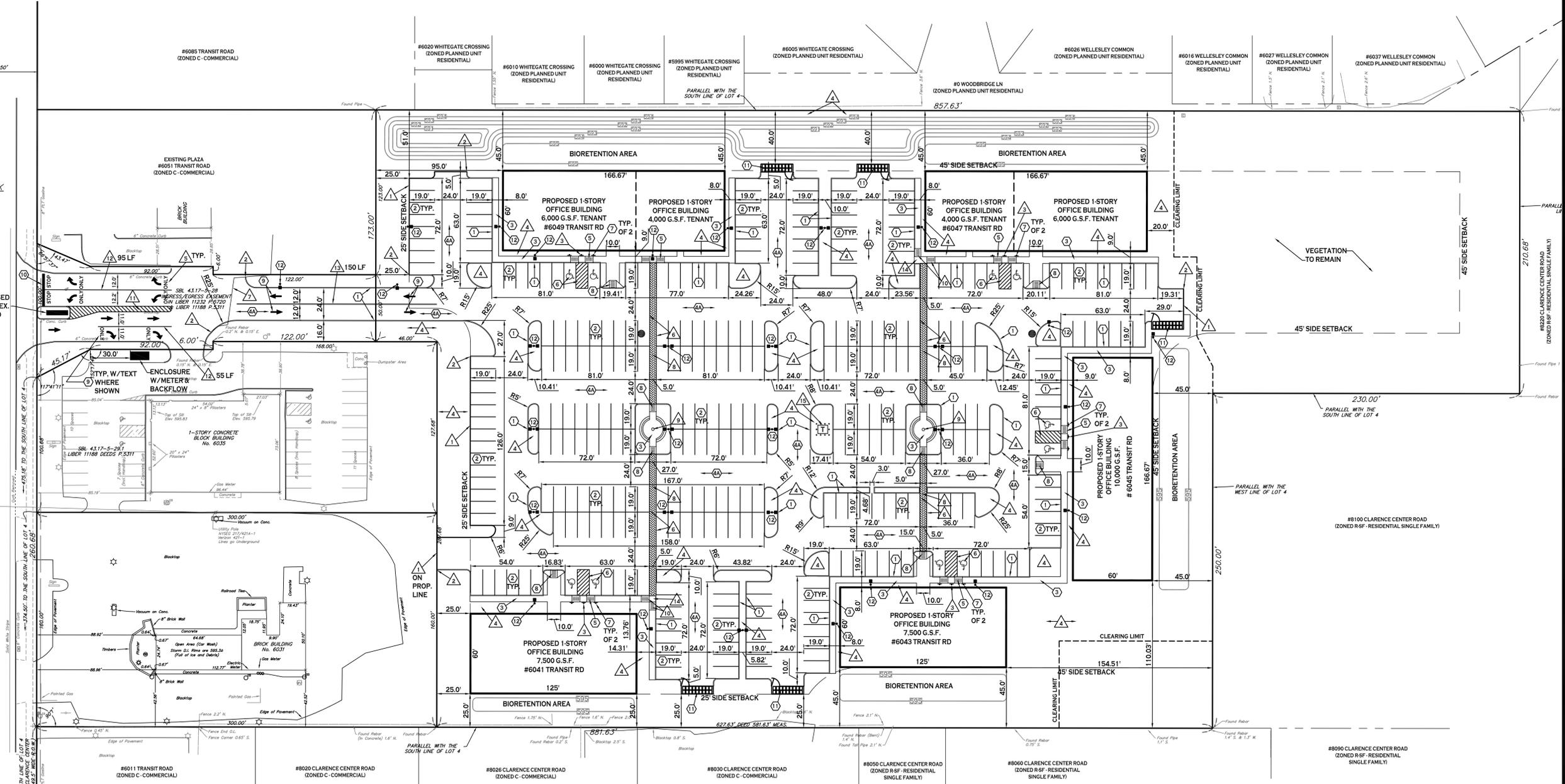


PROJECT NAME:
New Construction
Transit Meadow
Medical & Professional Park
6041 Transit Road
Clarence, New York

Issued for Construction: xx.xx.xx
Municipality Submission: 5/9/16
Drawn by: C. Wood
Scale: As Noted

DRAWING NAME:
Site Plan

DRAWING NO.
C-100
Project no.: 16.003



SITE PLAN
SCALE: 1"=40'

- NOTES:**
- ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
 - ALL DISTURBED AREAS SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
 - ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
 - CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
 - BUILDING DIMENSIONS ARE APPROXIMATE, REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.

- GENERAL NOTES:**
- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 - SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 - WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 - VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 - CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
 - CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.

- NOTE LEGEND**
- ▲ EDGE OF PAVEMENT
 - ▲ RUNOUT CURB IN 2' OR MATCH EXISTING CURB
 - ▲ INSTALL "NO PARKING" SIGN, M.U.T.C.D. SIGN NO. R7-1C
 - ▲ LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
 - ▲ INSTALL PAINTED PAVEMENT TEXT AS SHOWN
 - ▲ 6" WIDE WHITE PAVEMENT STRIPE AT 5' SPACING (CROSSWALK)
 - ▲ MATCH EX. EDGE OF PAVEMENT, SAWCUT AS REQ'D TO ACHIEVE SQUARE EDGE TO MATCH
 - ▲ INFILL CROSSWALK/PEDESTRIAN WALKWAY WITH CONCRETE PAVERS, STAMPED CONC. OR STAMPED ASPHALT, COORDINATE TYPE WITH OWNER
 - ▲ FLAG POLE
 - ▲ SLOPE SIDEWALK/CURB @ 1:12 MAX. PROVIDE TACTILE WARNING STRIP ADJACENT TO ASPHALT
 - ▲ INFILL AREA W/ 4" WIDE YELLOW P.V.M.T. STRIPES @ 45'
 - ▲ 4" WIDE WHITE PAVEMENT STRIPE
 - ▲ 4" WIDE YELLOW PAVEMENT STRIPES @ 4' SPACING
 - ▲ SIDEWALK FLUSH W/ ASPHALT
 - ▲ ELEC. TRANSFORMER ON CONC. PAD W/ BOLLARDS, COORDINATE W/ UTIL. CO.

SITE DATA - RB ZONED PROPERTY

SITE AREA = 7.446 AC
ZONED: RB (RESTRICTED BUSINESS DISTRICT)
DESCRIPTION: (3) 10,000 GSF 1-STORY BLDG'S
(2) 7,500 GSF 1-STORY BLDG'S

SETBACKS - BUILDING	REQUIRED	PROVIDED
FRONT:	80 FT	N/A
SIDE/REAR (ABUTTING COMM.):	25 FT	25 FT MIN.
SIDE/REAR (ABUTTING RES.):	45 FT	45 FT MIN.

SETBACKS - PARKING	REQUIRED	PROVIDED
FRONT:	80 FT	N/A
SIDE/REAR (ABUTTING COMM.):	25 FT	25 FT MIN.
SIDE/REAR (ABUTTING RES.):	45 FT	45 FT MIN.

GREENSPACE	REQUIRED	PROVIDED
TOTAL SITE (25%):	1.86 AC	3.22 AC (43.2%)
INTERIOR PARKING LOT (8%):	0.24 AC	0.30 AC (10.0%)

PARKING	REQUIRED	PROVIDED
# OF SPACES - SEE CALCULATION BELOW	305	310

MAX. BUILDING HEIGHT	REQUIRED	PROVIDED
	35 FT	< 35 FT

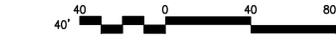
LOT COVERAGE	REQUIRED	PROVIDED
	70% (227,043 SF)	13.9% (45,000 SF)

PARKING CALCULATION:
"MEDICAL OFFICE"
REQ'D PARKING = 1 SPACE PER 100 GSF
= 16,000 GSF / 100 = 160 SPACES
"PROFESSIONAL OFFICE"
REQ'D PARKING = 1 SPACE PER 200 GSF
= 29,000 GSF / 200 = 145 SPACES
TOTAL = 305 SPACES

- DETAIL LEGEND** SEE SITE DETAIL SHEET
- ① TYPE "A" CONCRETE CURB
 - ② 90° PARKING STALL
 - ③ CONCRETE SIDEWALK, 5' WIDE (UNLESS OTHERWISE NOTED)
 - ④ STANDARD DUTY ASPHALT
 - ⑤ HANDICAPPED PAVEMENT RAMP
 - ⑥ HANDICAPPED PAVEMENT MARKINGS
 - ⑦ HANDICAPPED PARKING SIGN
 - ⑧ SIDEWALK CURB RAMP
 - ⑨ PAINTED TRAFFIC ARROWS
 - ⑩ STOP BAR
 - ⑪ GARBAGE TOTE ENCLOSURE
 - ⑫ LIGHT POLE FOUNDATION

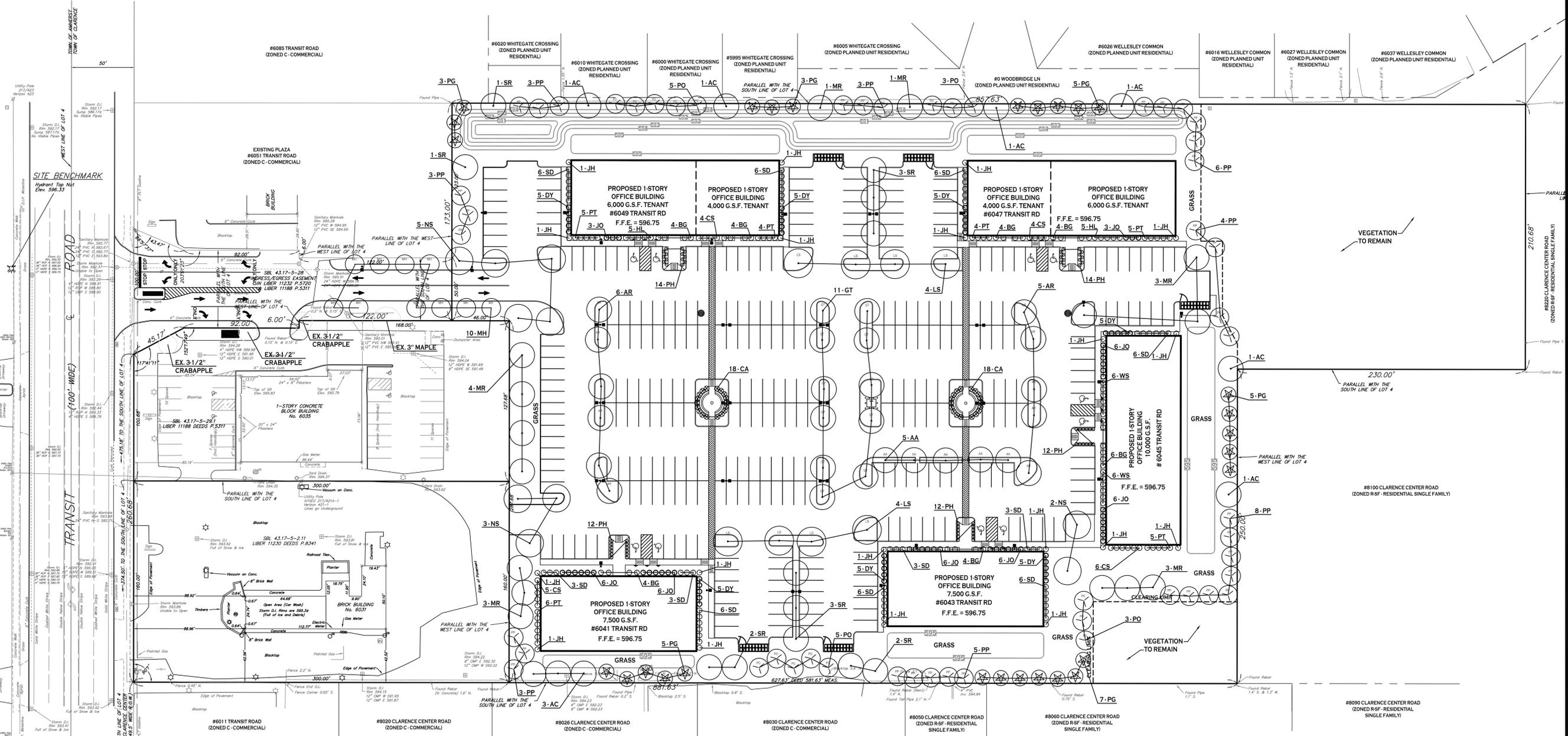
- SITE LEGEND**
- PROPERTY LINE
 - PROPOSED CURB
 - PROPOSED SIDEWALK / CONCRETE PAD
 - NUMBER OF PARKING SPACES
 - PROPOSED SIGN
 - PROPOSED LIGHT POLE
 - PROPOSED PAD MOUNTED TRANSFORMER

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



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Carmina Wood Morris PC



PLAN
SCALE: 1"=40'

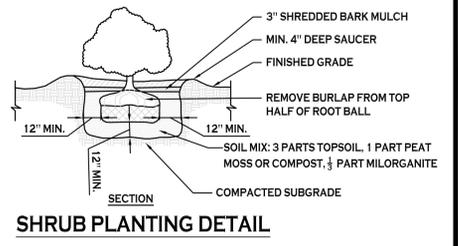
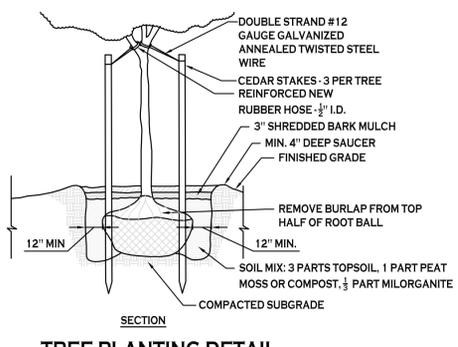
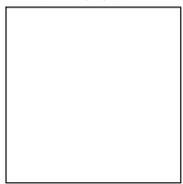
PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
AA	5	AMELANCHIER GRANDIFLORA "AUTUMN BRILLIANCE"	AUTUMN BRILLIANCE SERVICEBERRY	2 1/2" CAL.	TREE FORM
AC	9	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	8' HT. CLUMP	MIN. 3 MAJOR STEMS
AR	11	ACER RUBRUM "RED SUNSET"	RED SUNSET MAPLE	2 1/2" CAL.	
BG	30	BUXUS "GREEN VELVET"	GREEN VELVET BOXWOOD	21"-24"	
CA	36	CALAMAGROSTIS ACUTIFOLIA "KARL FOERSTER"	KARL FOERSTER'S FEATHER REED GRASS	NO. 2 CONT.	
CS	19	CORNUS STOLONIFERA "FARROW"	ARCTIC FIRE REDTWIG DOGWOOD	18"-24"	
DY	35	DEUTZIA "NCDX2"	YUKI CHERRY BLOSSOM DEUTZIA	18"-24"	
GT	11	GLEDTISIA TRIACANTHOS INERMIS "SKYLINE"	SKYLINE HONEYLOCUST	2 1/2" CAL.	
HL	10	HYDRANGEA PANICULATA "SMLOFHP"	LITTLE QUICK FIRE HYDRANGEA	18"-24"	
JH	19	JUNIPERUS CHINENSIS "HETZLI COLUMNARIS"	HETZ STAKED JUNIPER	4' HT	FULL TO GROUND
JO	42	JUNIPERUS CHINENSIS "OLD GOLD"	OLD GOLD JUNIPER	18"-24"	
LS	8	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	2 1/2" CAL.	
MH	10	MALUS "HARVEST GOLD"	HARVEST GOLD CRABAPPLE	2-1/2" CAL.	
MR	15	MALUS "ROYAL RAINDROPS"	ROYAL RAINDROPS CRABAPPLE	2 1/2" CAL.	
NS	10	NYSSA SYLVATICA	BLACK GUM	2 1/2" CAL.	
PG	28	PICEA GLAUCA	WHITE SPRUCE	5' HT.	FULL TO GROUND
PH	64	PENNISETUM ALOPECUROIDES "HAMELN"	HAMELN FOUNTAIN GRASS	NO. 2 CONT.	
PO	16	PICEA OMORIKA	SERBIAN SPRUCE	5' HT.	FULL TO GROUND
PP	35	PICEA PUNGENS	COLORADO SPRUCE	5' HT.	FULL TO GROUND
PT	29	PHYSOCARPUS OPULIFOLIUS "SMPOTIN"	TINY WINE PHYSOCARPUS	18"- 24"	
SD	54	SPIRAEA JAPONICA "YAN"	DOUBLE PLAY GOLD SPIREA	18"-24"	
SR	12	SYRINGA RETICULATA "IVORY SILK"	IVORY SILK TREE LILAC	8' HT. CLUMP	MIN. 3 MAJOR STEMS
WS	12	WEIGELA FLORIDA "BOKRASOPIN"	SONIC BLOOM PINK WEIGELA	18"- 24"	

PLANTING NOTES:

- ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
- ALL TREE PIT SAUCERS, SHRUB BEDS, ORNAMENTAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE THREE (3) INCHES DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH.
- ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL-BLENDED MIXTURE OF 50% PEAT MOSS & 50% SCREENED TOPSOIL. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
- ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE STAKES AS PER TREE PLANTING DETAIL.
- ALL SHRUBS SHALL BE INSTALLED AT A MINIMUM HEIGHT OF TWENTY-FOUR (24) INCHES AS PER TOWN OF CLARENCE CODE REQUIREMENTS.

FRANK T. BRZEZINSKI
REGISTERED LANDSCAPE ARCHITECT
MEMBER AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS
19 CATHERINE STREET, WILLIAMSVILLE, NY 14221
PHONE/FAX: (716) 626-6700



NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD MORRIS, P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



REVISIONS:

No.	Description	Date
1	Rev. per Town of Clarence review comments	05/03/16
2	Rem. Easterly Parking	6/22/16



PROJECT NAME:
New Construction
Transit Meadow
Medical & Professional Park
6041 Transit Road
Clarence, New York

Issued for Construction: xx.xx.xx
Municipality Submission: 4/2/16
Drawn by: C. Wood
Scale: As Noted

DRAWING NAME:
Landscape Plan

DRAWING NO.
L-100
Project no.: 16.003



NORTH ELEVATION - 3



WEST ELEVATION - 3



SOUTH ELEVATION - 3

CLARENCE ZONING CODE
 MAX. BUILDING HEIGHT: 45'
 MAX. PROPOSED BLDG. HEIGHT: 26' (TO TOP OF TOWER)



EAST ELEVATION - 3

TRANSIT MEADOWS

PROFESSIONAL OFFICE BUILDINGS

BUILDINGS A1 & A2

6035-41 TRANSIT ROAD, CLARENCE, N.Y.
 LMA #16012A1 3/31/16





FRONT ELEVATION - 2

100'
PROPOSED TENANT
NOTE: TENANT SIGN SHOWN RELATES TO BUILDING B1 ONLY

66.67'
AVAILABLE



RIGHT SIDE ELEVATION - 2



REAR ELEVATION - 2

66.67'
AVAILABLE

100'
PROPOSED TENANT

CLARENCE ZONING CODE
MAX. BUILDING HEIGHT: 45'
MAX. PROPOSED BLDG. HEIGHT: 26' (TO TOP OF TOWER)



LEFT SIDE ELEVATION - 2

NOTE: TENANT SIGN SHOWN RELATES TO BUILDING B1 ONLY

**TRANSIT MEADOWS
PROFESSIONAL OFFICE BUILDINGS
BUILDINGS B1 & B3
6035-41 TRANSIT ROAD, CLARENCE, N.Y.
LMA #16012B1 3/31/16**



TOWN OF CLARENCE
ENGINEERING and BUILDING DEPARTMENTS
6221 Goodrich Road
Clarence Center, NY 14032
716-741-8952
FAX: 716-407-8915



Timothy M. Lavocat, P.E., CFM
Town Engineer

July 25, 2016

Chris Wood, P.E.
Carmina Wood Morris, DPC
487 Main Street, Suite 600
Buffalo, NY 14203

Re: ***Transit Meadow medical & Professional Park***
6041 Transit Road
Development Plan Review #2

Dear Mr. Wood:

The Town of Clarence Engineering Department has performed a review of the development plan information for the above referenced project dated May 2016 received by this department July 18, 2016 **The Development Plan meets the technical requirements of the Engineering Department and is subject to the conditions below. Additional Town Committee/Board approvals are required for final Development Plan approval.**

1. Private Improvement Permits (PIP's) are required for pavement and curbing, storm drainage and grading and fire protection main prior to any site work.
2. All sheets of the PIP plans are to be wet stamped and signed. Three (3) sets of plans are required to be submitted with the PIP applications.
3. All conditions of approval by the Engineering Department and the Planning Board Resolution for Development Plan approval shall be clearly presented on the cover sheet of the PIP Plans.
4. Only approved plan sets bearing the signature of the Town Engineer shall be considered valid plans to be used on site. All sheets of PIP plans to be clearly labeled "ISSED FOR CONSTRUCTION".
5. Full compliance with and all signatory requirements of GP-0-15-002 are required.
6. The Owner/Operator, qualified inspector and contractor certifications, as part of the SWPPP must be signed prior to issuance of PIP's.
7. Please be advised that SWPPP site inspections are required under permit GP-0-15-002 and are the responsibility of the owner/operator to ensure continued maintenance of the stormwater management system. The maintenance agreement required under permit GP-0-15-002 is required prior to certificate of occupancy.
8. A preconstruction meeting is required prior to issuance of PIP's.

Should you have any questions or require further clarification regarding the review of the above referenced project please feel free to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Joseph Lancellotti', with a large, stylized flourish extending to the right.

Joseph Lancellotti
Civil Engineer

Cc: James Callahan, Director of Community Development
Jeff Wilson, Code Enforcement Officer
David Metzger, Sr. Code Enforcement Officer
Jonathan Bevilacqua, Bevilacqua Development L.P., 9332 Transit Road, Suite B, East Amherst, NY 14051
File

6041 Transit-Transit Meadow Medical & Professional Park-Review #2-07-25-16.docx

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 9
270 Michigan Avenue, Buffalo, NY 14203-2915
P: (716) 851-7165 | F: (716) 851-7168
www.dec.ny.gov

April 15, 2016

Mr. James Callahan
Town of Clarence Planning & Zoning Dept.
One Town Place
Clarence, NY 14031

RECEIVED
APR 20 2016
ZONING OFFICE

Dear Mr. Callahan,

**Response to SEQR Lead Agency Status
Stephen Development Mixed Use Project
Town of Clarence, Erie County**

In response to your March 11, 2016 letter regarding the above-noted, please be advised of the following:

1. The whole site appears to be within an archaeologically sensitive area, as shown on the enclosed New York State Office of Parks, Recreation and Historic Preservation (OPRHP) map (Website www.oprhp.state.ny.us/nr/main.asp). As part of the SEQR process, the Town of Clarence should evaluate this concern, unless it can be verified by appropriate documentation that the site has been significantly disturbed in a way that would destroy potential artifacts. Please recognize that normal agricultural activities, such as plowing, would not constitute such land disturbance. If there are any questions regarding this, contact OPRHP (telephone: 518/237-8643). Note: If any of the described Department approvals are required, an appropriate archaeological investigation must be conducted in order to satisfy the New York State Historic Preservation Act.
2. Since project activities will involve land disturbance of 1 acre or more, the project sponsor, owner or operator is required to obtain a State Pollutant Discharge Elimination System General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002). This General Permit requires the project sponsor, owner or operator to control stormwater runoff according to a Stormwater Pollution Prevention Plan (SWPPP), which is to be prepared prior to filing a Notice of Intent (NOI) and prior to commencement of the project. More information on General Permit GP-0-15-002, as well as the NOI form, is available on the Department's website at www.dec.ny.gov/chemical/43133.html. Information on permitting requirements and preparation of a necessary Stormwater Pollution Prevention Plan (SWPPP) is available on the Department's website at www.dec.ny.gov/chemical/8468.html.



Department of
Environmental
Conservation

Mr. Callahan
Page 2
April 15, 2016

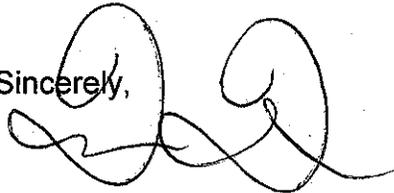
The Town of Clarence is designated as an MS4 community. The project sponsor, owner or operator of a construction activity that is subject to the requirements of a regulated, traditional land use control MS4 shall have their SWPPP reviewed and accepted by the MS4 community. The "MS4 SWPPP Acceptance" form must be signed by the principle executive officer or ranking elected official from the MS4 community, or by a duly authorized representative of that person, and submitted along with the NOI, to the Department at NOTICE OF INTENT, NYSDEC, Bureau of Water Permits, 625 Broadway, 4th Floor, Albany, New York 12233-3505, telephone: 518/402-8111 to receive Department approval before construction commences.

3. If an on-site treatment facility is proposed, in accordance with the New York State Environmental Conservation Law, a State Pollutant Discharge Elimination System (SPDES) Permit is required for a facility whose treated wastewater discharge to groundwater is greater than 1,000 gallons per day, and for all discharges to surface water. Depending upon the volume of the proposed discharge, permits and/or plan approvals may be required from this Department and the Erie County Health Department, 503 Kensington Avenue, Buffalo, New York 14214, telephone: 716/961-6800. The SPDES application and information is available on our website at: <http://www.dec.ny.gov/permits/6054.html>.

It appears that the Town of Clarence should act as SEQR Lead Agency, since the environmental impacts of the proposal are primarily of local significance.

If you have any questions, please feel free to contact Mr. Bruno Di Bella or me at 716/851-7165.

Sincerely,



David S. Denk
Regional Permit Administrator

PAD

cc: Jennifer Delaney, Erie County Health Department

Carolyn Delgato

From: James Callahan
Sent: Monday, July 25, 2016 7:53 AM
To: Jonathan Bleuer
Cc: Carolyn Delgato
Subject: FW: 9560 Main St, Mixed Use Development, Apartments~24 Units, 18,500sf Retail & 3 Residential Lots, Town of Clarence
Attachments: fountain court TIS.pdf; CP1 - 06.28.16.pdf; LOSprot_permmissive.pdf

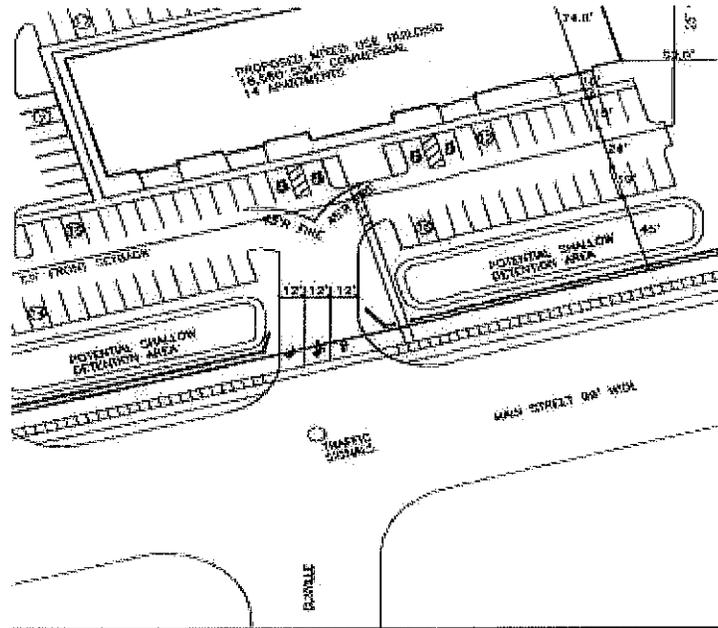
From: Rutkowski, Edward (DOT) [mailto:Edward.Rutkowski@dot.ny.gov]
Sent: Thursday, July 21, 2016 3:17 PM
To: James Callahan <jcallahan@clarence.ny.us>
Cc: meteng@ROADRUNNER.com; Elmore, John (DOT) <John.Elmore@dot.ny.gov>
Subject: 9560 Main St, Mixed Use Development, Apartments~24 Units, 18,500sf Retail & 3 Residential Lots, Town of Clarence

Jim,

NYSDOT reviewed the Traffic Impact Study and the site plan submitted for the subject project. Also, reviewed was the supplemental analysis to add a northbound protected-permission left turn from Gunnville Road to Main Street along with an eastbound right turn overlap on Main Street. Based on our review we have the following comments:

- It is acceptable to NYSDOT for the proposed project to construct the site driveway opposite Gunnville Road where it will create a four way intersection. In addition to providing signal heads facing the site driveway, the signal shall include a protected -permissive left turn phase for northbound Gunnville Road and an eastbound Main Street right turn overlap which should sufficiently mitigate the impacts of adding a fourth leg to this intersection.
- The site driveway shall be constructed on a skew to match the alignment of Gunnville Road as shown below.

RECEIVED
JUL 25 2016
ZONING OFFICE



- If this project is approved by the Town, then the applicant will need to address the 4th and 5th bulleted comments in the May 25, 2016 email shown below. The items in bullet 4 can be completed as part of the NYSDOT Highway Work Permit process. This type of work will require a Major Commercial Highway Work Permit and the applicant should direct the Highway Work Permit application and/or questions to:

John R. Elmore II, P.E.
Regional Commercial Development Coordinator
New York State Department of Transportation
100 Seneca Street, Buffalo, NY 14203
(716) 847-3265 | john.elmore@dot.ny.gov

If you have any questions please contact me either by email or phone.

Sincerely,
Ed Rutkowski

Edward S. Rutkowski, P. E.
SEQR/Site Plan Review Coordinator
NYSDOT - Region 5
100 Seneca Street
Buffalo, New York 14203
716-847-3575



From: Rutkowski, Edward (DOT)
Sent: Wednesday, May 25, 2016 2:42 PM
To: 'James Callahan'

Subject: 9560 Main St, Mixed Use Development, Apartments~24 Units, 18,500s. Retail & 3 Residential Lots, Town of Clarence

Dear Jim,

New York State Department of Transportation (NYSDOT) reviewed the information submitted for the subject project and has the following comments:

- NYSDOT concurs with the Town of Clarence acting as the Lead Agency.
- A traffic study will be required for the signalized intersection of Main Street and Gunnvilleville Road because of the proposed site driveway located at the signal opposite Gunnvilleville Road. The traffic study should include capacity analyses for the “No Build”, “Background” and proposed “Build” conditions as well as a discussion on mitigation measures.
- According to NYSDOT Policy and Standards for Entrances to State Highways, no more than one driveway shall be allowed for a minor commercial development. Therefore, the site plan shall be revised to utilize one driveway.
- New traffic signal heads will be required to control traffic on the proposed site driveway at its intersection with Main Street and Gunnvilleville Road and may require overhead lane control signs. These signal modifications will require a complete analysis of the existing signal system including a Span Wire Analysis, a Traffic Signal Pole Inspection and Analysis along with a Traffic Signal Pole Foundation Inspection and Analysis. The developer should be aware that if new features cannot be accommodated by the existing signal system, then a new traffic signal system would need to be installed, based on the latest applicable standards. ADA features at the intersection would also need to be compliant and/or upgraded to meet current standards. The developer would be responsible to design and construct any modifications to the signal system or for the installation of a new signal system. If any utility relocations are needed, that would be the responsibility of the developer as well. A land donation by the property owner to the State may be required to accommodate the installation of new traffic signal components (vehicle detection loops, pull boxes, conduits. etc) within the proposed driveway.
- A NYSDOT Highway Work Permit will be required for the proposed work within the State Highway Right-of-Way. Additional site engineering review will be done as part of the Highway Work Permit process. More detailed plans will be required for the Highway Work Permit application. This correspondence does not constitute approval for the purpose of a Highway Work Permit.

If you have any questions please contact me either by email or phone.

Sincerely,
Ed Rutkowski

Edward S. Rutkowski, P. E.
SEQR/Site Plan Review Coordinator
NYSDOT - Region 5
100 Seneca Street
Buffalo, New York 14203
716-847-3575



Full Environmental Assessment Form
Part 1 - Project and Setting

MAR - 4 2016

ZONING OFFICE

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: 9560 Main Street		
Project Location (describe, and attach a general location map): 9560 Main Street , corner of Gunville Road, Town of Clarence, Erie County, New York		
Brief Description of Proposed Action (include purpose or need): Construct a mixed use building, containing 18,560 sf of commercial retail space, fourteen 2 bedroom apartments. A Ten unit- 2 bedroom townhome building and 3 single family home lots on the site of the former Fountain Court hotel.		
Name of Applicant/Sponsor: Stephen Development	Telephone: 716.759.6735	E-Mail:
Address: 9735 Main Street		
City/PO: Clarence	State: NY	Zip Code: 14031
Project Contact (if not same as sponsor; give name and title/role): Michael J. Metzger, P.E. - Metzger Civil Engineering	Telephone: 716.633.2601	E-Mail: meteng@roadrunner.com
Address: 8560 Main Street		
City/PO: Williamsville	State: NY	Zip Code: 14221
Property Owner (if not same as sponsor):	Telephone:	E-Mail:
Address:		
City/PO:	State: NY	Zip Code:

B. Government Approvals

B. Government Approvals Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Site Plan, Special Exception Use permit	02.01.16
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Site Plan approval and SEUP Recommendation	
c. City Council, Town or <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals	Area Variance	
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Erie County Health Dept. - Septic system	
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Erie County Planning 239-M	
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC: Stormwater and septic SPDES NYSDOT: Right of Way work permit	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes,		
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s):	
NYS Heritage Areas: West Erie Canal Corridor	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
Commercial - first 330' off Main Street, Residential beyond 330'

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? Same as existing

C.4. Existing community services.

a. In what school district is the project site located? Clarence Central

b. What police or other public protection forces serve the project site?
NYS Troopers, Erie County Sheriffs

c. Which fire protection and emergency medical services serve the project site?
Clarence Fire District No.1

d. What parks serve the project site?
Clarence Town Park, Clarence Bike path

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Mixed use, apartments and single family residential

b. a. Total acreage of the site of the proposed action? 10.8 acres
 b. Total acreage to be physically disturbed? 4.9 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 10.8 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Create Three 2+ acre single family home lots
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? 3
 iv. Minimum and maximum proposed lot sizes? Minimum 2.2 Maximum 2.2

e. Will proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ months
 ii. If Yes:
 • Total number of phases anticipated 2
 • Anticipated commencement date of phase 1 (including demolition) 7 month 2016 year
 • Anticipated completion date of final phase 12 month 2020 year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____
--- NONE ---

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase				24 apartments
At completion of all phases	3			

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 1
 ii. Dimensions (in feet) of largest proposed structure: 35 height; 75 width; and 250 length
 iii. Approximate extent of building space to be heated or cooled: 100% square-feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? Dry detention area
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): 2500 cy +/-
 • Over what duration of time? 3 months
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.
Rock removal from excavation for detention area to be hauled off site and used as building material.
 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____
 v. What is the total area to be dredged or excavated? _____ < 0.25 acres
 vi. What is the maximum area to be worked at any one time? _____ 3 acres
 vii. What would be the maximum depth of excavation or dredging? _____ 8 feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: _____ 8450 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: Erie Co Water Authority
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
 Private service tap on existing main
- Source(s) of supply for the district: Erie Co Water Authority

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ 8450 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary wastewater 7130 gpd for mixed use project and 1320 for 3 single family homes

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

Yes No
 Yes No

• Do existing sewer lines serve the project site?
 • Will line extension within an existing district be necessary to serve the project?
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):
On site sewage treatment and disposal system with disposal to bedrock.

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or 3.1 acres (impervious surface)
 _____ Square feet or 10.8 acres (parcel size)

ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
On site Infiltration Basin to bedrock

 • If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
 400,000 kwh

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
 NYSEG

iii. Will the proposed action require a new, or an upgrade to, an existing substation? possible Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____ 7 a.m. - 7 p.m.
- Saturday: _____ 7 a.m. - 7 p.m.
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____ Commercial 8am - 10 pm
- Saturday: _____ Commercial 8am - 10 pm
- Sunday: _____ Commercial 8am - 10 pm
- Holidays: _____ Commercial 8am - 10 pm

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
Construction activities

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Pole or wall mounted low level lighting.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):
Lawn care.

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ 2 tons per _____ month (unit of time)
- Operation : _____ 3 tons per _____ month (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: Commercial Hauler recycling program

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Commercial Hauler
- Operation: Commercial Hauler

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): Multi-family Residential, School

ii. If mix of uses, generally describe:

The project site is located in a mixed use area with commercial and residential uses.

b. Land uses and covertypes on the project site.

Land use or Coverture	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	2.1	3.1	+1.0
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	7.8	0	-7.8
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Lawn</u>	0.9	7.7	+6.8

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
Clarence High School

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 0.8 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: Benson (BfA) _____ 100 %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ >6.0 feet

e. Drainage status of project site soils: Well Drained: _____ 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 100 % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site:	<input type="checkbox"/> Typical WNY wildlife
<hr/> <hr/>	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
<i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____	
<i>ii.</i> Source(s) of description or evaluation: _____	
<i>iii.</i> Extent of community/habitat:	
<ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Per NYSDEC Environmental Resource Mapper	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Per NYSDEC Environmental Resource Mapper	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, give a brief description of how the proposed action may affect that use: _____	
<hr/>	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<i>i.</i> If Yes: acreage(s) on project site? _____	
<i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
<i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature	
<i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____	
<hr/>	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
<i>i.</i> CEA name: _____	
<i>ii.</i> Basis for designation: _____	
<i>iii.</i> Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: <u>Clarence Blke Path</u>	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Local Bike Path</u>	
<i>iii.</i> Distance between project and resource: <u>0.5 miles.</u>	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
	<input type="checkbox"/> Yes <input type="checkbox"/> No

F. Additional Information

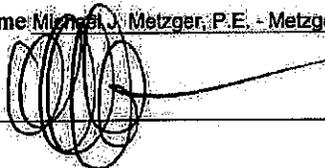
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name: Michael J. Metzger, P.E. - Metzger Civil Eng. Date: 3/4/16

Signature:  _____ Title: Agent

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Agency Use Only [If applicable]
 Project : Fountain Court Mixed Use Project
 Date : August 2016

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land			
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1)		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
<i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

NO YES

If "Yes", answer questions a - c. If "No", move on to Section 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

NO YES

If "Yes", answer questions a - l. If "No", move on to Section 4.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater
 The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. NO YES
 (See Part I. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)
 If "Yes", answer questions a - h. If "No", move on to Section 5.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: <u>Proposed action will create impervious surfaces with potential to increase discharge of stormwater runoff onto off-site locations</u>		<input checked="" type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding
 The proposed action may result in development on lands subject to flooding. NO YES
 (See Part I. E.2)
 If "Yes", answer questions a - g. If "No", move on to Section 6.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels:			
i. More than 1000 tons/year of carbon dioxide (CO ₂)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
ii. More than 3.5 tons/year of nitrous oxide (N ₂ O)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iv. More than .045 tons/year of sulfur hexafluoride (SF ₆)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions	D2g	<input type="checkbox"/>	<input type="checkbox"/>
vi. 43 tons/year or more of methane	D2h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

10. Impact on Historic and Archeological Resources The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Yes", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If "Yes", answer questions a - e. If "No", go to Section 12.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>		
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>		
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

12. Impact on Critical Environmental Areas The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If "Yes", answer questions a - c. If "No", go to Section 13.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>		
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

13. Impact on Transportation
 The proposed action may result in a change to existing transportation systems. NO YES
 (See Part 1. D.2.j)
 If "Yes", answer questions a - g. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy
 The proposed action may cause an increase in the use of any form of energy. NO YES
 (See Part 1. D.2.k)
 If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____			

15. Impact on Noise, Odor, and Light
 The proposed action may result in an increase in noise, odors, or outdoor lighting. NO YES
 (See Part 1. D.2.m., n., and o.)
 If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: The proposed action will result in increases in noise during construction but such impacts will be temporary.		<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.) <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <i>If "Yes", answer questions a - m. If "No", go to Section 17.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input checked="" type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

17. Consistency with Community Plans The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>				<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
h. Other: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>		

18. Consistency with Community Character The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>				<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
g. Other impacts: Traffic Impacts to Main/Gunnville intersection _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>		

Full Environmental Assessment Form
Part 3 - Evaluation of the Magnitude and Importance of Project Impacts
and
Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

Reasons Supporting This Determination:

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

Based on a review of Part 1 of the Long EAF and the documentation identifying and evaluating potential adverse environmental impacts and the preparation of Part 2 of the Long EAF, the Planning Board identified certain categories of identified adverse environmental impacts from the action that will be Moderate to Large. The identification of a potential impact as Moderate to Large does not mean that such an impact will be potentially significant. The following categories of impacts were identified as involving one or more Moderate to Large impacts.

Impact on Land-Question 1c
 Impact on Groundwater-Question 4 c and d
 Impact on Historic and Archaeological Resources-Question 10b
 Impact on Transportation-Question 13a
 Impact on Noise, Odor and Light-Question 15
 Impact on Human Health-Question 16
 Consistency with Community Plans-Question 17

An evaluation of the impacts identified by the Planning Board as being Moderate to Large is attached to this Part 3 of the Long EAF

Determination of Significance - Type 1 and Unlisted Actions

SEQR Status: Type 1 Unlisted

Identify portions of EAF completed for this Project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the
Town of Clarence Planning Board _____ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Fountain Court Mixed Use Development

Name of Lead Agency: Town of Clarence Planning Board

Name of Responsible Officer in Lead Agency: James Callahan

Title of Responsible Officer: Director of Community Development

Signature of Responsible Officer in Lead Agency: _____ Date: 8/16

Signature of Preparer (if different from Responsible Officer) _____ Date: 8/16

For Further Information:

Contact Person: James Callahan

Address: 1 Town Place, Clarence, NY 14031

Telephone Number: (716) 741-8933

E-mail: jcallahan@clarence.ny.us

For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

PRINT FULL FORM

*PART 3 EAF ANALYSIS
FOUNTAIN COURT MIXED USE PROJECT
AUGUST 3, 2016*

FROM PART 2 EAF THE FOLLOWING ITEMS WERE IDENTIFIED AS POTENTIALLY SIGNIFICANT:

- *IMPACT ON LAND*
- *IMPACT ON GROUNDWATER*
- *IMPACT ON HISTORIC AND ARCHAEOLOGICAL RESOURCES*
- *IMPACT ON PLANTS AND ANIMALS*
- *IMPACT ON OPEN SPACE AND RECREATION*
- *IMPACT ON TRANSPORTATION*
- *IMPACT ON ENERGY*
- *IMPACT ON NOISE, ODOR AND LIGHT*
- *IMPACT ON HUMAN HEALTH*
- *CONSISTENCY WITH COMMUNITY PLANS*

FOLLOWING IS AN ANALYSIS OF THESE IMPACTS AND A BASIS FOR THE DETERMINATION OF NON-SIGNIFICANCE

1/4. IMPACT ON LAND AND IMPACTS ON GROUND WATER

The proposed action may result in substantial adverse changes associated with construction in bedrock and impacts associated with ground or surface water quality or quantity.

The action will result in potentially significant adverse impacts associated with construction in bedrock and to ground or surface water quality and quantity since it will create new impervious surfaces on the Project Site including buildings and pavement. Impacts to surface and groundwater will not be potentially significant since the Project Sponsor will need to comply with the stringent stormwater quality and quantity standards of the NYS Department of Environmental Conservation. The Site Plan for the project depicts the location of a stormwater management pond that will be constructed for purpose of conveying stormwater runoff from impervious surfaces. The Project Sponsor will be required to submit an Engineer's Report to the Town of Clarence Engineering Department as prepared by a licensed engineering firm demonstrating compliance with all applicable stringent standards and no stormwater runoff from the Project Site in its developed condition can be conveyed onto adjacent parcels. The Town's Engineering Department will need to review and approve proposed stormwater management system before the Planning Board can consider granting Development Plan Approval for the project. The construction of the proposed project will not result in any potentially significant impacts in terms of erosion or flooding. Stormwater impacts from construction activities will be subject to the NYSDEC's stringent standards regulating the physical disturbance of soils during construction activities and a licensed engineer will be required to submit a Storm Water Pollution Prevention Plan (SWPPP") for review by the Town's Engineering Department per the NYSDEC's stringent standards. The comment letter issued by David S. Denk, Regional Permit

Administrator of the NYSDEC dated April 15, 2016 confirms that since the project will involve land disturbance of more than one acre, the Project Sponsor will be required to obtain a State Pollutant Discharge Elimination System General Permit for Stormwater Discharges from Construction Activity (GP-0-10-001).

10. IMPACT ON HISTORIC AND ARCHAEOLOGICAL RESOURCES

The action is located in an area that has been identified as potentially significant as to impacts upon archaeological resources. The applicant commissioned a Phase I Archaeological Study to determine the significance of this potential impact. No significant resources have been identified and the New York State Office of Parks, Recreation and Historic Preservation has issued a letter identifying that the project will have no impact upon cultural resources in or eligible for inclusion in the State and National Register of Historic Places.

The existing structure on the property is proposed for demolition and the building was researched to determine any potential historic significance. Records indicate that the structure was built in 1953 and therefore demolition is not considered a Type I Action under SEQRA. The structures on the site were not identified in the Reconnaissance Level and Intensive Level Surveys of Historic Structures, completed in 2006 by Clinton Brown Company Architecture PC.

13. IMPACT ON TRANSPORTATION

The project will not create any potentially significant adverse traffic impacts. A Traffic Impact Study (TIS) was prepared by SRF Associates and was prepared as requested by the New York State Department of Transportation and addresses all issues identified. The NYSDOT has requested design modifications of the project applicant to eliminate the proposed secondary driveway accessing Main Street and to modify the intersection alignment at Main Street and Gunville Road. The project sponsor will be required to address any required infrastructure upgrades as determined by NYSDOT, as the project progresses.

15. IMPACT ON NOISE, ODOR AND LIGHT

Blasting may be required as a part of the construction of the project and construction noise may be temporarily higher than surrounding levels. Permitting and construction standards, including strict enforcement of applicable laws along with required blast monitoring will ensure that potentially significant impacts are reduced to non-significant levels. The long term occupancy will be compatible with surrounding land uses.

16. IMPACT ON HUMAN HEALTH

Clarence High School is located within 1500 feet of the proposed construction. Construction activity associated with the project will be of a temporary nature and appropriately permitted. The long term occupancy will be compatible with surrounding land uses.

17. CONSISTENCY WITH COMMUNITY PLANS

The proposed use is considered an allowed use in the Commercial Zone and the Project Site is zoned Commercial pursuant to the Town of Clarence Zoning Map and the proposed project is permitted in the existing zoning district subject to the Town Board issuing a Special Exception Use Permit pursuant to the Town's Multifamily Law. The project is considered to be in violation of the required density for multiple family housing as the project site is not serviced by public sewers.

As the project does not meet the density requirements of the Town Code, the Planning Board does not have the authority to approve the project as designed. The Town Zoning Board of Appeals may consider a variance to the Code and the Town Board must approved a Special Exception Use Permit in order for the project to proceed to construction.



Parks, Recreation, and Historic Preservation

ANDREW M. CUOMO
Governor

ROSE HARVEY
Commissioner

July 21, 2016

Ms. Bonnie Locking
Tetra Tech, Inc
301 Ellicott Street
Buffalo, NY 14203

RECEIVED
JUL 22 2016
ZONING OFFICE

Re: DEC
Fountain Court Development Project
Town of Clarence, Erie County, NY
16PR04387

Dear Ms. Locking:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

Based upon this review, it is the OPRHP's opinion that your project will have No Impact upon cultural resources in or eligible for inclusion in the State and National Register of Historic Places.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

Ruth L. Pierpont
Deputy Commissioner for Historic Preservation

Division for Historic Preservation

P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • www.nysparks.com



Concept Rendering

NTS

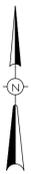
STEPHEN
DEVELOPMENT

Concept Multi-Use Building:

**9560 Main Street
Clarence, New York**

SUTTON
architecture
"Design 2 Build"

GOODRICH ROAD



Site Data Table

Total Site Area = 10.8± Acres
 Commercial Zoned = 3.0± Acres
 Residential Zoned = 7.8± Acres

ODA Area = 6.3± Acres

Required Commercial max. Lot Coverage = 70%
 Provided Commercial Lot Coverage = 69%
 Required Commercial min. Green Space = 30%
 Provided Commercial Green Space = 31%

Greenbelt Requirements = 45 Adjacent To Residential

Required Front Yard Setback = 80'
 Provided Front Yard Setback = 119'

Required Side Yard Setback = 25'
 Provided Side Yard Setback = 32'

Required Rear Yard Setback = 25'
 Provided Rear Yard Setback = 170'

Max. Building Height = 45'

Building Area:
 Commercial Space = 18,580 square feet
 Residential = 14 Apartment Units
 10 Townhouse Units
 24 Total Residential Units

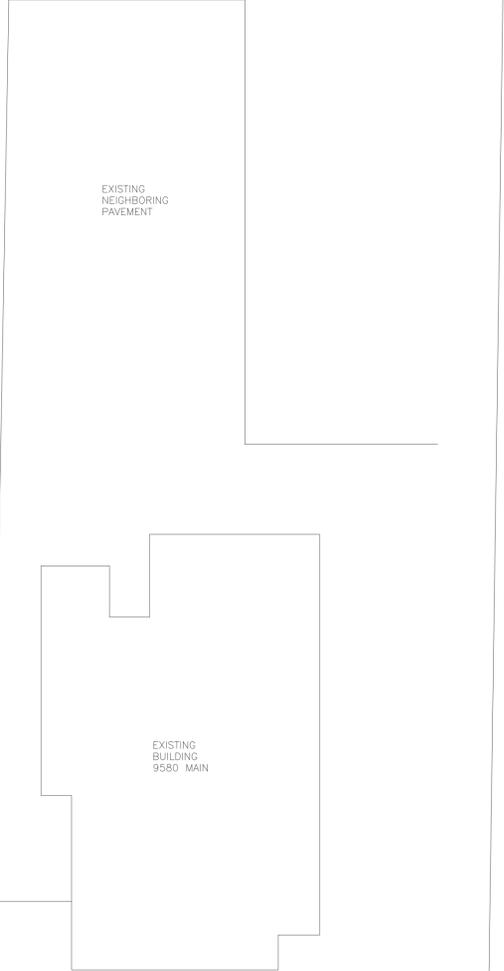
Parking Required:
 Required Commercial Spaces = 1 space per 150 sqft
 18,580 sf / 150 = 124 Spaces

Required Residential Unit Spaces = 2 spaces per Unit
 Apartments = 14 Units x 2 = 28 Spaces
 Townhouses = 10 Units x 2 = 20 Spaces
 Total Parking Spaces Required = 172 Spaces

Parking Provided:
 Garage/Driveway Units = 20 Spaces
 Parking Spaces Provided = 121 Spaces
 Total provided = 141 Spaces

Multi Family Housing requirements:
 Max. Density allowed = 8 DU/acre
 or 4 DU/acre if on septic
 (16 DU total)
 Provided density = 27 DU/10.8 acres = 2.5 DU/acre

EXISTING BUILDING 9530 MAIN



LEGEND

NOTES

- BOUNDARY INFORMATION PROVIDED BY SUTTON ARCHITECTURE
- THIS IS NOT A PROPERTY SURVEY.

Designed By:	ARH
Drawn By:	ARH
Checked By:	MJM
Cad File:	M 1321
NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW	
REVISIONS	DATE BY

MCE METZGER CIVIL ENGINEERING, PLLC

8560 MAIN ST.
 WILLIAMSVILLE, NY 14221
 PH: 716-633-2601
 FAX: 716-633-2704

CIVIL ENGINEERING
 LAND PLANNING
 SITE DESIGN
 MUNICIPAL ENGINEERING

9560 MAIN STREET

TOWN OF CLARENCE, ERIE COUNTY, NEW YORK

CONCEPT PLAN

SCALE:	1" = 50'
DATE:	JANUARY 22, 2016
JOB NO:	M-1321
SHEET NO:	CP - 1



Site Data Table

Total Site Area = 10.8± Acres
 Commercial Zoned= 3.0± Acres
 Residential Zoned = 7.8± Acres

ODA Area = 6.3± Acres

Required Commercial max. Lot Coverage = 70%
 Provided Commercial Lot Coverage = 69%
 Required Commercial min. Green Space = 30%
 Provided Commercial Green Space = 31%

Greenbelt Requirements= 45 Adjacent To Residential

Required Front Yard Setback= 80'
 Provided Front Yard Setback= 119'

Required Side Yard Setback = 25'
 Provided Side Yard Setback = 32'

Required Rear Yard Setback= 25'
 Provided Rear Yard Setback= 170'

Accessory Building Setback = 10'

Max. Building Height = 45'

Building Area:
 Commercial Space= 18,580 square feet
 Residential= 14 Apartment Units
 10 Townhouse Units
 24 Total Residential Units

Parking Required:
 Required Commercial Spaces= 1 space per 150 sqft
 18,580 sf / 150 = 124 Spaces

Required Residential Unit Spaces= 2 spaces per Unit
 Apartments= 14 Units x2 = 28 Spaces
 Townhouses= 10 Units x2 = 20 Spaces
 Total Parking Spaces Required: 172 Spaces

Parking Provided:
 Garage/Driveway Units= 34 Spaces
 Parking Spaces Provided= 100 Spaces
 Total provided= 134 Spaces

Multi Family Housing requirements:
 Max. Density allowed = 8 DU/acre
 or 4 DU/ac if on septic
 (16 DU total)
 Provided density= 26 DU/10.8 acres = 2.4 DU/ac



LEGEND

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NOTES

- BOUNDARY INFORMATION PROVIDED BY SUTTON ARCHITECTURE
- THIS IS NOT A PROPERTY SURVEY.

Designed By:	ARH
Drawn By:	ARH
Checked By:	MJM
Cad File:	M 1321
NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW	
ADDED GARAGES	06.24.16 ARH/MJM
REVISIONS	DATE BY

MCE METZGER CIVIL ENGINEERING, PLLC

8560 MAIN ST.
 WILLIAMSVILLE, NY 14221
 PH: 716-633-2601
 FAX: 716-633-2704

CIVIL ENGINEERING
 LAND PLANNING
 SITE DESIGN
 MUNICIPAL ENGINEERING

9560 MAIN STREET

TOWN OF CLARENCE, ERIE COUNTY, NEW YORK

CONCEPT PLAN

SCALE:	1" = 50'
DATE:	JANUARY 22, 2016
JOB NO:	M-1321
SHEET NO:	CP - 1

Short Environmental Assessment Form
Part 1 - Project Information

RECEIVED

JUN 24 2016

ZONING OFFICE

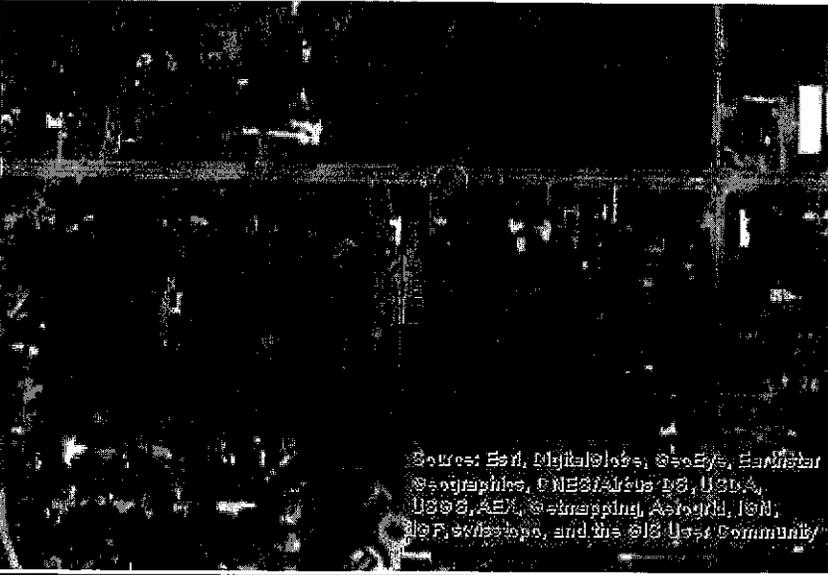
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Parking Lot Expansion for Dr. Altman Medical Office Facility			
Project Location (describe, and attach a location map): 8421 Sheridan Drive east of Transit Road			
Brief Description of Proposed Action: Paved surface parking lot expansion for (36) car-parks, stormwater management, lighting and landscape improvements.			
Name of Applicant or Sponsor: Philip J. Silvestri, Silvestri Architects, PC		Telephone: 716-691-0900	
		E-Mail: phils@silvestriarchitects.com	
Address: 1321 Millersport Highway, Suite 101			
City/PO: Amherst		State: NY	Zip Code: 14221
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of Clarence Site Plan approval and building permit		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 1.4 acres	
b. Total acreage to be physically disturbed?		_____ 0.4 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.4 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>Temporary detention of runoff in surface basin (dry basin) of approx. 6000 cf</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p>		
<p>Applicant/sponsor name: Philip J. Silvestri, Silvestri Architects, PC</p>		<p>Date: 6/24/2016</p>
<p>Signature: <u>Philip J. Silvestri</u></p>		



Sources: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, Aero, Swisstopo, and the GIS User Community

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., NRCAN, Esri Japan, METI, Esri China

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: _____ Date: _____		
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

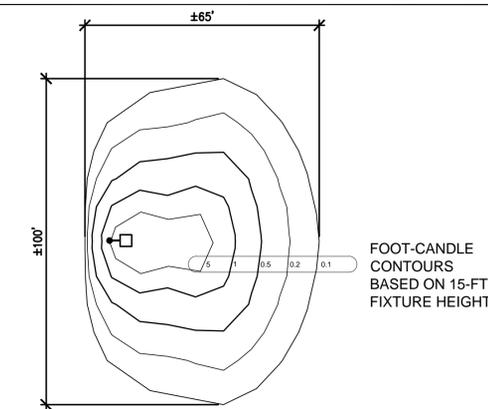
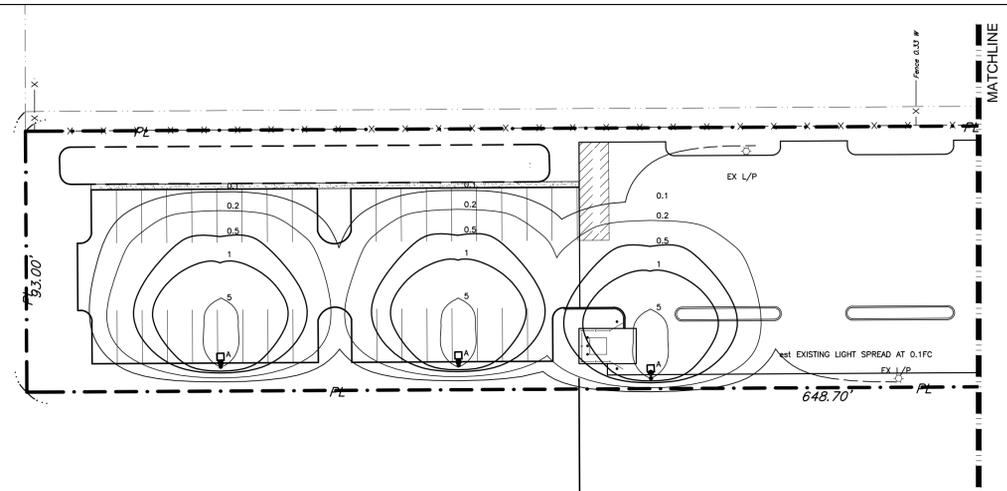
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Town of Clarence Planning Board	August 2016
Name of Lead Agency	Date
James Callahan	Director of Community Development
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT



LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	A	3	KSF2 250M R4SC (REFERENCE ONLY)	AREA LIGHT WITH CUTOFF REFLECTOR, FLAT GLASS LENS.	ONE 250-WATT CLEAR METAL HALIDE, HORIZONTAL POSITION.	-	20000	0.79	297



NOTICE

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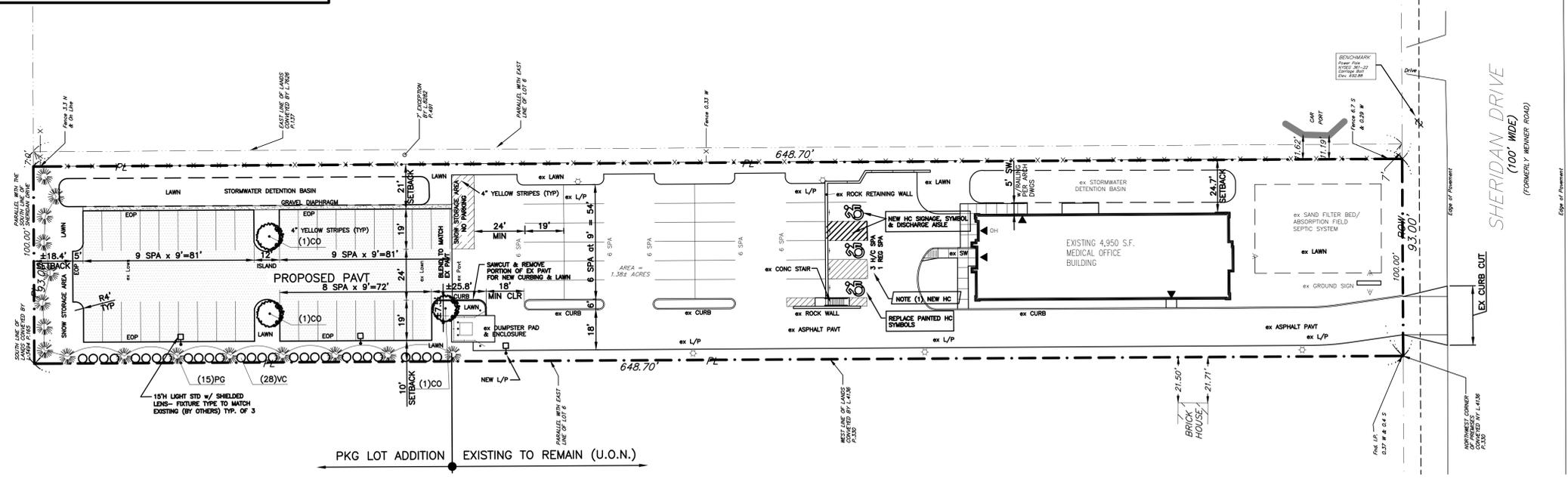
tredo ENGINEERS
755 Seneca Street
Suite 202
Buffalo, New York 14210
716.876.7147 ph

BROX DESIGN
RICHARD F. BROX
LANDSCAPE ARCHITECT
15 ROBIN ROAD
AMHERST, NY 14228

PARKING LOT ADDITION FOR DR. ALTMAN MEDICAL OFFICE FACILITY

PLANTING SCHEDULE

MARK	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
TREES					
CO	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2-1/2" CAL	B&B
PG	15	PICEA GLAUCA	WHITE SPRUCE	6" h MIN-15' OC	B&B
SHRUBS					
VC	28	VIBERNUM CARLESI	FRAGRANT VIBERNUM	24" h	3GAL



8421 SHERIDAN DR.
CLARENCE, NY

SITE LAYOUT & LANDSCAPE PLAN & DETAILS

REVISIONS

1 TOWN COMMENTS	7.20.16
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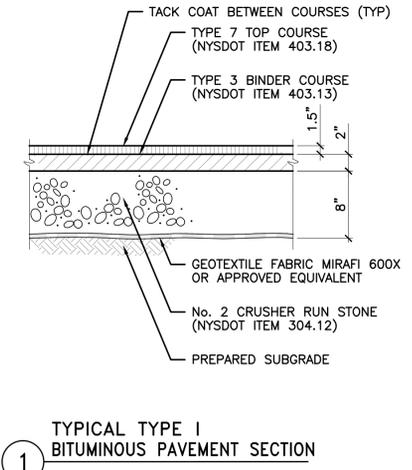
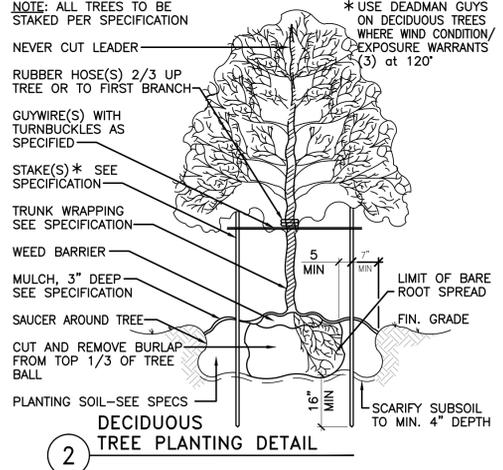
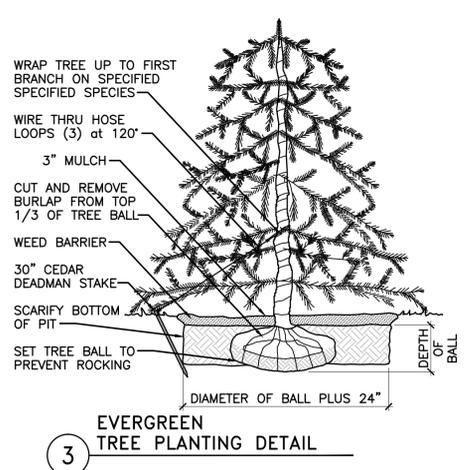
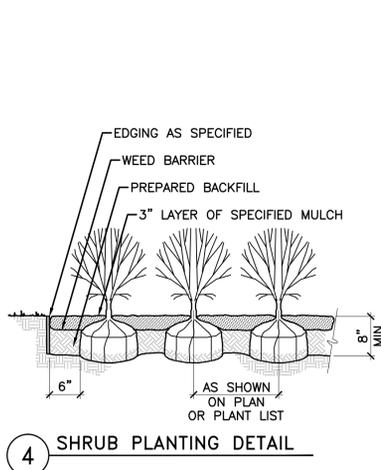
JOB NO
TE#16.36

DATE
6.23.16

SILVESTRI ARCHITECTS PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

DRAWING SP-101



SITE LAYOUT & LANDSCAPE PLAN
1" = 30'

SITE DATA
CURRENT ZONING: RESTRICTED BUSINESS
TOTAL SITE AREA: 1.38± ACRES (AC)
AREA OF DISTURBANCE: 0.42± AC
IMPERVIOUS AREA:
EX BUILDING: 0.11 AC
EX PAVT: 0.53 AC
NEW PAVT: 0.24 AC
TOTAL IMPERVIOUS: 0.98 AC
TOTAL GREENSPACE: 0.40 AC (29% OF SITE)
INTERIOR GREENSPACE: 830 SF (8% OF NEW PARKING AREA)

PARKING DATA
SPACES REQUIRED: 50

NEW SPACES PROVIDED: 35
TOTAL SPACES PROVIDED:
REGULAR: 66
HANDICAP: 3
TOTAL: 69

NOTE:
BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING IS FOR INFORMATION ONLY. REFER TO SURVEY(S) PROVIDED BY MILLARD, MacKay & DELLES, JOB NO. 5235, DATED 3-20-07.
NO BUILDING ADDITIONS OR MODIFICATIONS THIS CONTRACT.
NO SANITARY SEWER (SEPTIC) OR WATERLINE MODIFICATIONS THIS CONTRACT.
SITE LIGHTING, POWER, & GAS LINE SHOWN FOR INFO ONLY (NOT BY TE).
SITE LIGHTING SHALL BE CONTROLLED TO BE SHUT-OFF AT LATE EVENING HOURS.
A KNOX BOX KEY HOLDER SHALL BE LOCATED AT THE BLDG. MAIN ENTRANCE.
THE BLDG. DOES NOT CONTAIN A SPRINKLER FIRE-PROTECTION SYSTEM.
TRASH COLLECTION SHALL BE DURING NORMAL BUSINESS HOURS.