

**SITE DATA:**  
 ACREAGE: 0.52  
 CURRENT ZONING: RESIDENTIAL SINGLE FAMILY  
 -VARIANCE GRANTED FOR COMMERCIAL USE WITH TRADITIONAL  
 NEIGHBORHOOD DISTRICT ZONING REGULATIONS  
 PARKING REQUIRED: 3400 / 200 = 17 SPACES  
 PARKING PROVIDED: 12 SPACES  
 SETBACK: REQUIRED PROVIDED  
 FRONT 10' 10'20'  
 SIDE 20' N/A  
 REAR 25' 54.79/81.0'

**GENERAL NOTES**

1. SURVEY INFORMATION WAS PROVIDED BY McINTOSH & McINTOSH, P.C. DATED 07-01-14. C&S ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
2. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
3. ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
5. COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.
6. ALL WORK TO BE COMPLETED TO TOWN OF CLARENCE STANDARDS AND THOSE OF THE RESPECTIVE UTILITY COMPANIES. CONTRACTOR TO OBTAIN RIGHT-OF-WAY CONSTRUCTION PERMITS FROM THE NYS DOT.

**PROPOSED LEGEND**

- PROPERTY LINE
- PROPOSED SIGN
- ▬ PROPOSED CONCRETE PAVEMENT / SIDEWALK
- ▬ PROPOSED CONCRETE CURB
- ⊙ NUMBER OF PARKING SPACES
- ◀ DOOR LOCATION
- E.P. EDGE OF PAVEMENT
- LIGHTING FIXTURES
- ★ WALL LIGHT FIXTURE
- BOARD FENCE

**NOTE LEGEND**

- △ 4" TOPSOIL & SEED IF NO PLANTINGS-SEE LANDSCAPING PLAN.
- △ MATCH EXISTING CURB OR RUN OUT IN 4'-0"
- △ 4" WIDE PAINTED WHITE PAVEMENT STRIPES

**DETAIL LEGEND**

- ① STANDARD DUTY ASPHALT
- ② CONCRETE CURB
- ③ CONCRETE SIDEWALK
- ④ NOT USED
- ⑤ ACCESSIBLE CURB RAMP 'A'
- ⑥ ACCESSIBLE PAVEMENT MARKINGS
- ⑦ INTERNATIONAL ACCESSIBLE SYMBOL
- ⑧ ACCESSIBLE OR 'NO PARKING' SIGN
- ⑨ STOP BAR/STOP SIGN
- ⑩ 6" HIGH BOARD FENCE



**NOTICE**  
 This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
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**Seventeen  
 Hundred  
 Properties, Inc.**  
 Main St. & Susan Dr.  
 Town of Clarence,  
 New York

**ISSUE:**

**SA PROJECT TEAM:** PRINCIPAL P. Silvestri  
 PROJ. ARCH. \_\_\_\_\_ DRAFTER \_\_\_\_\_  
 JOB CAPT. \_\_\_\_\_ INTERIORS E. Sprentall

**SEAL:**

**TITLE:**  
 SITE PLAN



**SILVESTRI  
 ARCHITECTS · PC**

1321 MILLERSPORT HWY PH. 716.691.0900  
 AMHERST, NY 14221 FAX 716.691.4773

**SA JOB #:** 14077-01  
**DATE:** 01-12-15

**DRAWING #:** C-101

**Short Environmental Assessment Form** **RECEIVED**  
**Part 1 - Project Information**

AUG 26 2014

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to public participation. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

ZONING OFFICE

Part 1 - Project and Sponsor Information			
Name of Action or Project: Seventeen Hundred Properties, Inc.			
Project Location (describe, and attach a location map): southeast corner of intersection of Main Street (NYS Route 5) and Susan Drive, Clarence, NY			
Brief Description of Proposed Action: The project involves the construction of a 3,400 s.f. single story office building on a 0.52 acre parcel with associated site improvements, located at the southeast corner of Susan Drive and Main street, in the Town of Clarence. Site improvements include asphalt paved parking for 15 vehicles (including 1 HC accessible space), a stormwater detention basin, a domestic water service, a septic system and landscaping.			
Name of Applicant or Sponsor: Lowell Dewey, P.E. (C&S Engineers, Inc.)		Telephone: 716-847-1630 E-Mail: ldewey@cscos.com	
Address: 141 Elm Street, Suite 100			
City/PO: Buffalo		State: NY	Zip Code: 14203
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of Clarence Planning Board - Site Plan Approval, Erie County Dept. of Health - Septic System Approval Erie County Water Authority - Domestic Water, NYS Dept of Transportation - Highway Work Permit			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 0.52 acres	
b. Total acreage to be physically disturbed?		_____ 0.52 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 0.52 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			



<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?          If Yes, explain purpose and size: _____          During a rainfall event, stormwater runoff is temporarily detained on-site in a detention basin, then discharges to the NYSDOT drainage system in Main Street.</p>	<p>NO  <input type="checkbox"/></p>	<p>YES  <input checked="" type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?          If Yes, describe: _____          _____</p>	<p>NO  <input checked="" type="checkbox"/></p>	<p>YES  <input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?          If Yes, describe: _____          _____</p>	<p>NO  <input checked="" type="checkbox"/></p>	<p>YES  <input type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: <u>LOWERY DEWEY, P.E.</u> Date: <u>8/26/14</u>          Signature: <u><i>Lowery Dewey</i></u></p>		

	70.18-5-21	70.18-5-22	70.18-5-23.1 70.18-5-23.2	70.18-5-24	70.18-6-24.1
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Map showing Main St and other features.

82.06-2-29	82.06-2-30	Sussex Dr Map	Clarence 82.06-3-12	82.06-3-13 Map Sources: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), TomTom, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community
	82.06-2-31			
	82.06-2-32			

**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

- Part 1 / Question 7 [Critical Environmental Area] No
- Part 1 / Question 12a [National Register of Historic Places] No
- Part 1 / Question 12b [Archeological Sites] Yes
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] No
- Part 1 / Question 15 [Threatened or Endangered Animal] No
- Part 1 / Question 16 [100 Year Flood Plain] No
- Part 1 / Question 20 [Remediation Site] No

**NOTE: SITE HAS BEEN PREVIOUSLY DISTURBED**

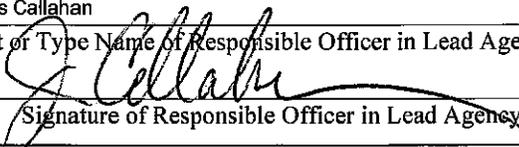
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: _____ Date: _____		
Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Clarence Planning Board	January 2015
_____ Name of Lead Agency	_____ Date
James Callahan	Director of Community Development
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
 _____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

**PRINT**

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**Seventeen  
 Hundred  
 Properties, Inc.**

Main St. & Susan Dr.  
 Town of Clarence,  
 New York

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri  
 PROJ. ARCH. \_\_\_\_\_ DRAFTER \_\_\_\_\_  
 JOB CAPT. \_\_\_\_\_ INTERIORS E. Sprentall

SEAL:

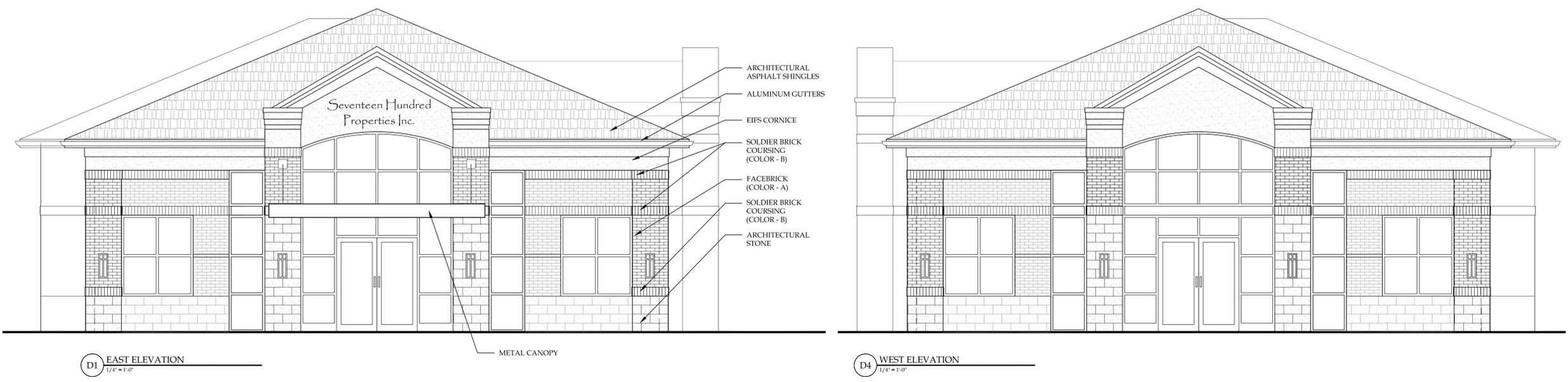
TITLE:  
**EXTERIOR  
 ELEVATIONS**



**SILVESTRI  
 ARCHITECTS • PC**  
 1321 MILLERSPORT HWY PH. 716.691.0900  
 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **14077-01** DATE: **08-25-14**

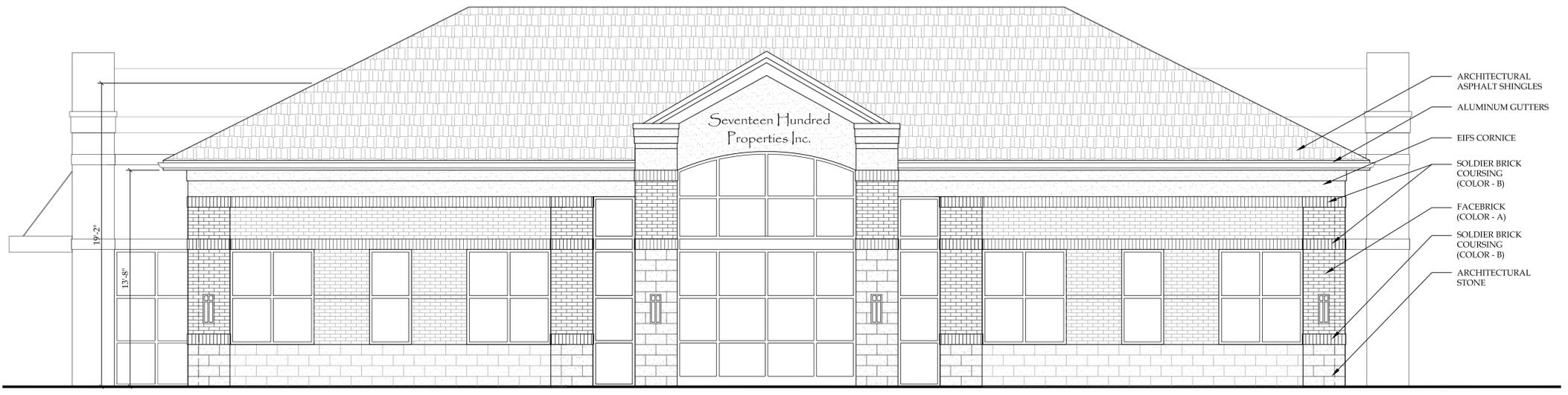
DRAWING #: **A-201**



- ARCHITECTURAL ASPHALT SHINGLES
- ALUMINUM GUTTERS
- EIPS CORNICE
- SOLDIER BRICK COURSING (COLOR - B)
- FACEBRICK (COLOR - A)
- SOLDIER BRICK COURSING (COLOR - B)
- ARCHITECTURAL STONE

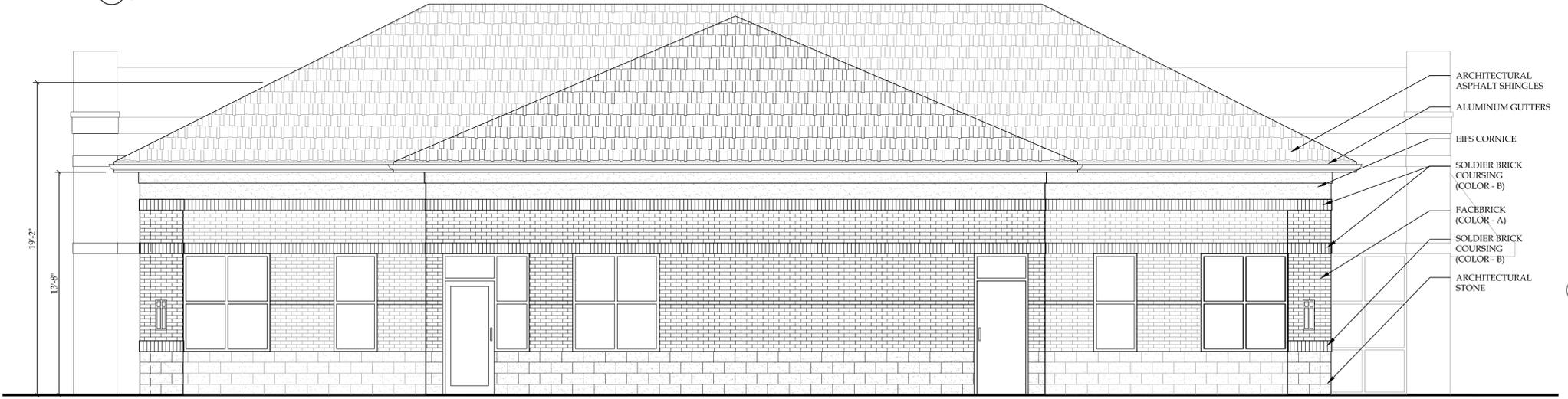
D1 EAST ELEVATION  
 1/4" = 1'-0"

D4 WEST ELEVATION  
 1/4" = 1'-0"



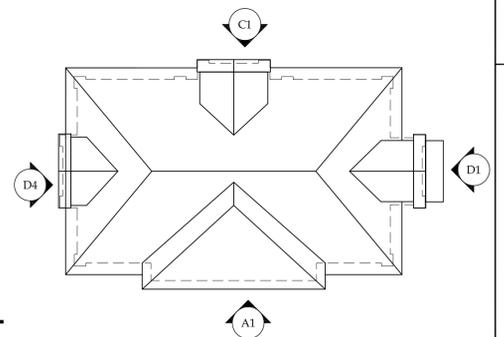
- ARCHITECTURAL ASPHALT SHINGLES
- ALUMINUM GUTTERS
- EIPS CORNICE
- SOLDIER BRICK COURSING (COLOR - B)
- FACEBRICK (COLOR - A)
- SOLDIER BRICK COURSING (COLOR - B)
- ARCHITECTURAL STONE

C1 NORTH ELEVATION  
 1/4" = 1'-0"

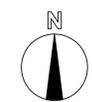


- ARCHITECTURAL ASPHALT SHINGLES
- ALUMINUM GUTTERS
- EIPS CORNICE
- SOLDIER BRICK COURSING (COLOR - B)
- FACEBRICK (COLOR - A)
- SOLDIER BRICK COURSING (COLOR - B)
- ARCHITECTURAL STONE

A1 SOUTH ELEVATION  
 1/4" = 1'-0"



A1 KEY PLAN  
 NTS



1 2 3 4 5 6

A B C D E

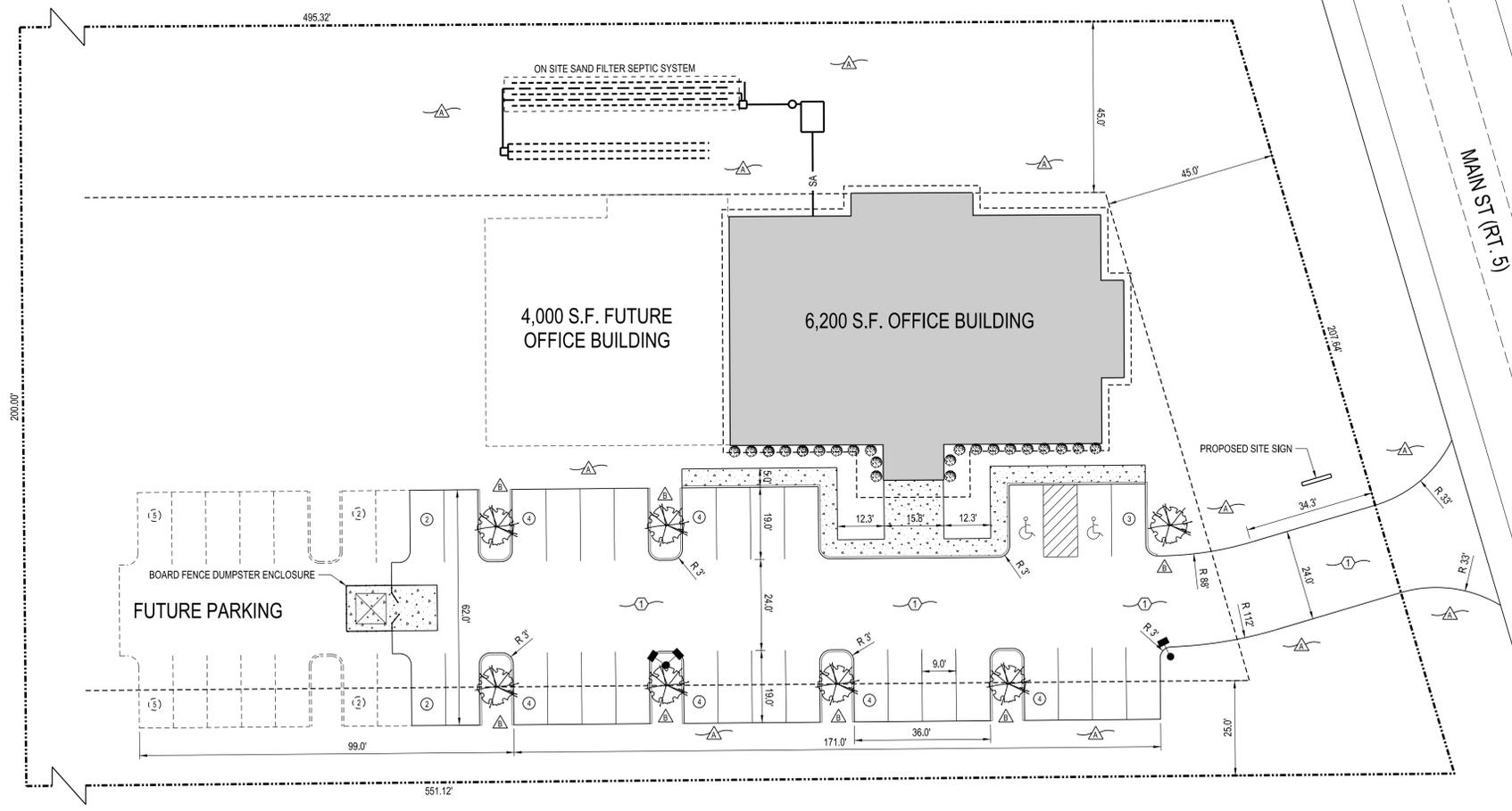


LOCATION SKETCH:  
N.T.S.

**C&S COMPANIES**  
 C&S Engineers, Inc.  
 141 Elm St. Suite 100  
 Buffalo, New York 14203  
 Phone: 716-847-1630  
 Fax: 716-847-1454  
 www.cscos.com

D  
C  
B  
A

D  
C  
B  
A



**SITE DATA:**

ACREAGE: 2.37

ZONING: COMMERCIAL

PHASE 1 PARKING REQUIRED: 6200 / 200 = 31 SPACES  
 PHASE 1 PARKING PROVIDED: 31 SPACES  
 PHASE 2 PARKING REQUIRED: 4000 / 200 = 20 SPACES  
 PHASE 2 PARKING PROVIDED: 20 SPACES

PHASE 1 INTERIOR GREEN SPACE: 8.8%  
 PHASE 2 INTERIOR GREEN SPACE: 8.4%

SETBACK:	REQUIRED	PROVIDED (PH 1)	PROVIDED (PH 2)
FRONT	45'	45'	45'
EAST SIDE	45'	45'	45'
WEST SIDE	25'	79'	79'
REAR	25'	355'	290'

**PROPOSED LEGEND**

- PROPERTY LINE
- PROPOSED SIGN
- ▬ PROPOSED CONCRETE PAVEMENT / SIDEWALK
- ▬ PROPOSED CONCRETE CURB
- ⑤ NUMBER OF PARKING SPACES
- ▲ DOOR LOCATION
- E.P. EDGE OF PAVEMENT
- LIGHTING FIXTURES
- ★ WALL LIGHT FIXTURE
- BOARD FENCE

**NOTE LEGEND**

- △ 4" TOPSOIL & SEED IF NO PLANTINGS-SEE LANDSCAPING PLAN.
- △ MATCH EXISTING CURB OR RUN OUT IN 4'-0"
- △ 4" WIDE PAINTED WHITE PAVEMENT STRIPES

**DETAIL LEGEND**

- ① STANDARD DUTY ASPHALT
- ② CONCRETE CURB
- ③ CONCRETE SIDEWALK
- ④ NOT USED
- ⑤ ACCESSIBLE CURB RAMP 'A'
- ⑥ ACCESSIBLE PAVEMENT MARKINGS
- ⑦ INTERNATIONAL ACCESSIBLE SYMBOL
- ⑧ ACCESSIBLE OR "NO PARKING" SIGN
- ⑨ STOP BAR/STOP SIGN



EMERLING INSURANCE  
 9092 MAIN STREET  
 CLARENCE, NY  
 ERIE COUNTY

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	H73.009.001	
DATE:	1-21-2015	
SCALE:	SEE PLANS	
DRAWN BY:	M SUTTON	
DESIGNED BY:	M SUTTON	
CHECKED BY:	L DEWEY	

NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW

CIVIL  
 CONCEPTUAL  
 SITE PLAN

C-101



**BAMMEL ARCHITECTS**  
A PROFESSIONAL CORPORATION

6459 WEST QUAKER STREET  
ORCHARD PARK, NY 14127  
phone (716) 662-2482  
fax (716) 662-2487

CONSULTANTS:

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SEAL:

PROJECT IDENTIFICATION:

NEW FACILITY FOR:  
**EMERLING INSURANCE**  
9092 MAIN STREET  
CLARENCE, NY



2 SOUTH ELEVATION  
1/4\"/>



1 WEST ELEVATION  
1/4\"/>

MARK	DATE	DESCRIPTION

MARK 01/01/2009 DESCRIPTION  
ISSUE

ISSUE DATE:	12/11/2014
FILE NAME:	Plan.dwg
PROJECT NUMBER:	xxxx
SCALE:	AS NOTED
DRAWN BY:	
CHECKED BY:	ALL

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

DRAWING NO:  
**A-200**



## *Short Environmental Assessment Form*

### *Part 1 - Project Information*

#### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

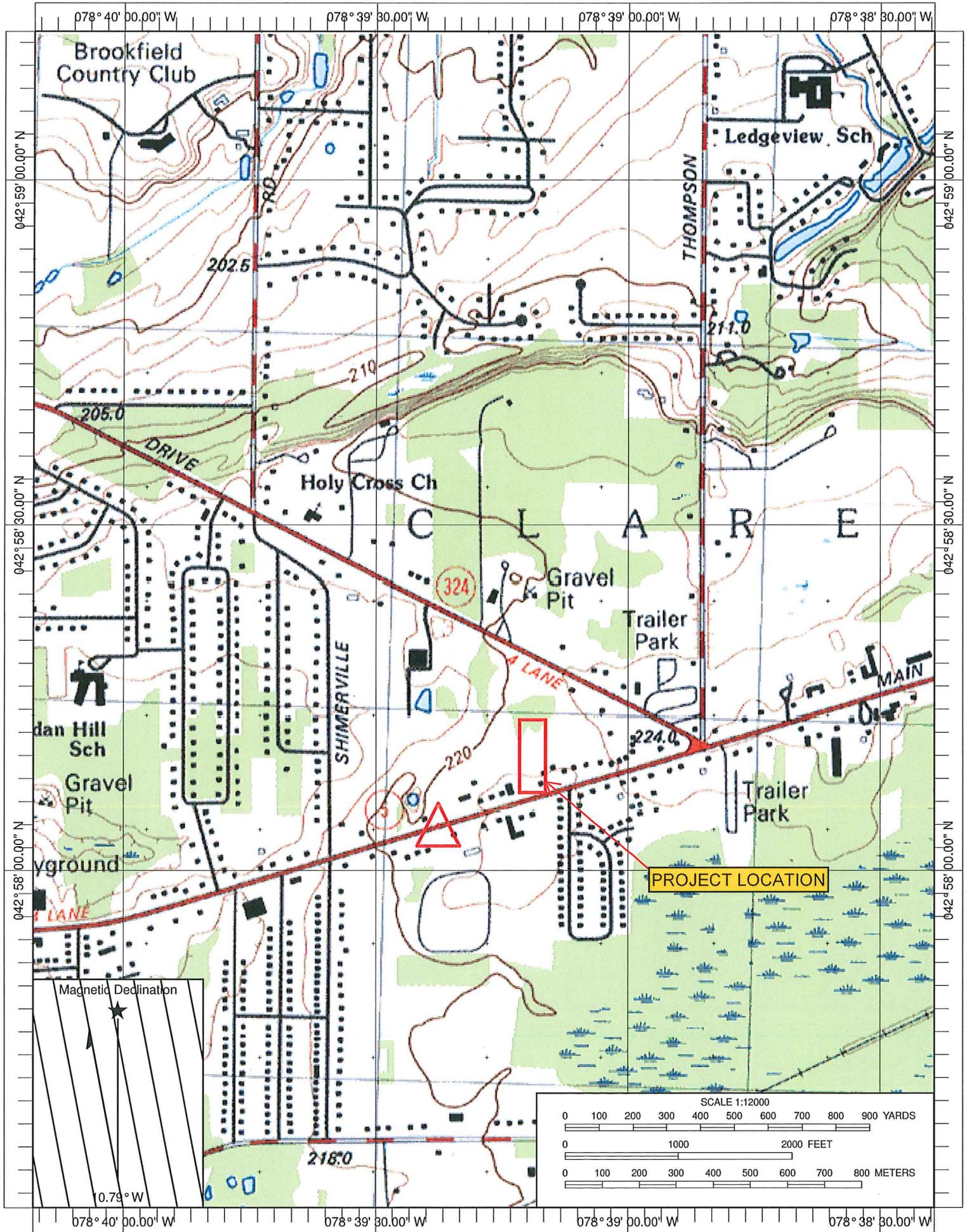
<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: EMERLING INSURANCE			
Project Location (describe, and attach a location map): 9092 MAIN STREET, CLARENCE, NY			
Brief Description of Proposed Action: THE PROJECT INCLUDES DEMOLITION OF A RESIDENTIAL HOUSE AND GARAGE FOLLOWED BY CONSTRUCTION OF A 6,200 S.F. OFFICE BUILDING, SEPTIC SYSTEM AND PARKING FOR 31 VEHICLES IN PHASE I. PHASE II INCLUDES A 4,000 S.F. EXPANSION AND PARKING FOR 20 VEHICLES. THE SITE IS ACCESSED VIA MAIN ST (RT. 5).			
Name of Applicant or Sponsor: LOWELL DEWEY		Telephone: (716)847-1630 E-Mail: LDEWEY@CSCOS.COM	
Address: 141 ELM STREET, SUITE 100			
City/PO: BUFFALO		State: NY	Zip Code: 14226
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ 2.39 acres			
b. Total acreage to be physically disturbed? _____ 0.95 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 2.39 acres			
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input checked="" type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: <u>SAND FILTER SEPTIC SYSTEM</u>	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <u>STORMWATER RUNOFF TO DISCHARGE TO GROUNDWATER OR TO DOT CONVEYANCE</u>			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?          If Yes, explain purpose and size: _____          _____          _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?          If Yes, describe: _____          _____          _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?          If Yes, describe: _____          _____          _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p>		
<p>Applicant/sponsor name: <u>Lowell Frewel</u></p>		<p>Date: <u>1/23/15</u></p>
<p>Signature: <u>Paul Lewis</u></p>		

**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

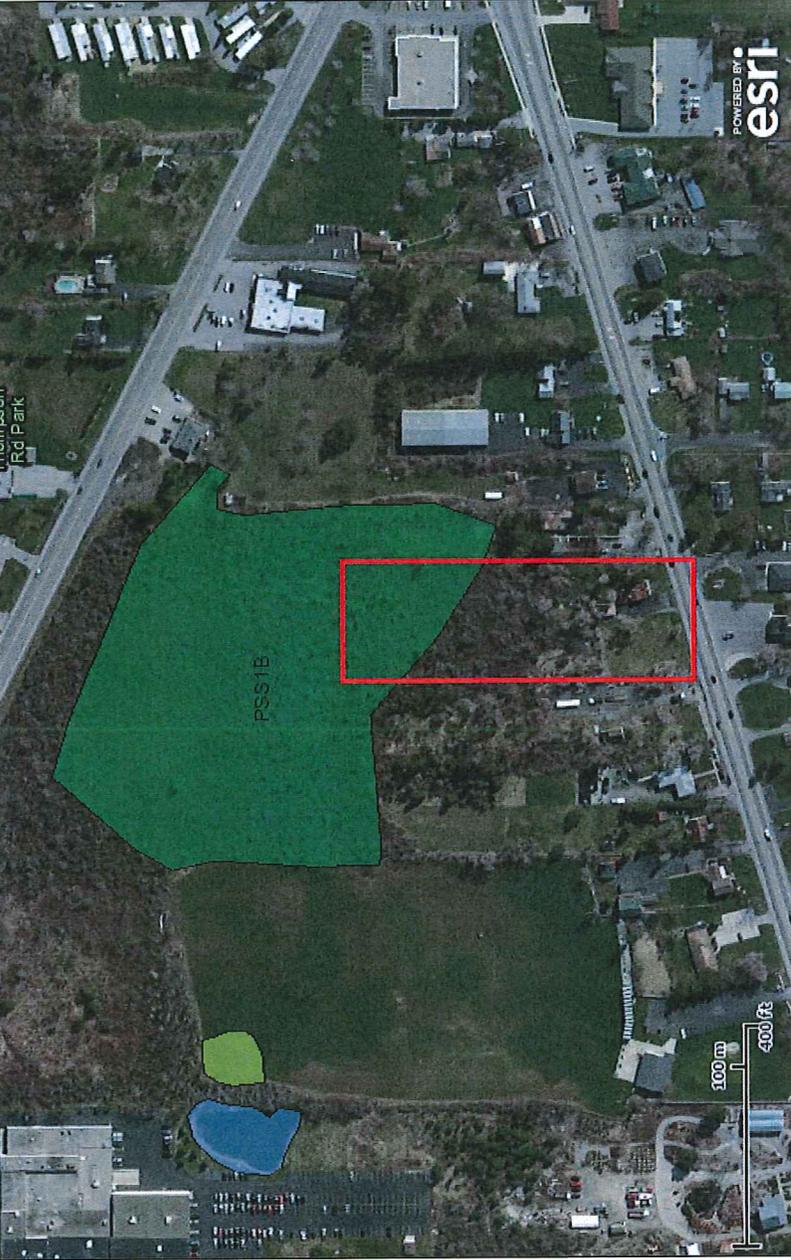
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No





# U.S. Fish and Wildlife Service National Wetlands Inventory

Jan 23, 2015



- ### Wetlands
- Freshwater Emergent
  - Freshwater Forested/Shrub
  - Estuarine and Marine Deepwater
  - Estuarine and Marine
  - Freshwater Pond
  - Lake
  - Riverine
  - Other

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

User Remarks:

Depth to a Selected Soil Restrictive Layer: Lithic bedrock—Erie County, New York



Map Scale: 1:1,460 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 17N WGS84



## Depth to a Selected Soil Restrictive Layer: Lithic bedrock

Depth to a Selected Soil Restrictive Layer: Lithic bedrock— Summary by Map Unit — Erie County, New York (NY029)				
Map unit symbol	Map unit name	Rating (centimeters)	Acres in AOI	Percent of AOI
BfA	Benson very channery loam, 0 to 3 percent slopes	38	2.1	59.2%
WaA	Wassaic silt loam, 0 to 3 percent slopes	71	1.5	40.8%
<b>Totals for Area of Interest</b>			<b>3.6</b>	<b>100.0%</b>

### Description

A "restrictive layer" is a nearly continuous layer that has one or more physical, chemical, or thermal properties that significantly impede the movement of water and air through the soil or that restrict roots or otherwise provide an unfavorable root environment. Examples are bedrock, cemented layers, dense layers, and frozen layers.

This theme presents the depth to the user selected type of restrictive layer as described in for each map unit. If no restrictive layer is described in a map unit, it is represented by the "> 200" depth class.

This attribute is actually recorded as three separate values in the database. A low value and a high value indicate the range of this attribute for the soil component. A "representative" value indicates the expected value of this attribute for the component. For this soil property, only the representative value is used.

### Rating Options

*Units of Measure:* centimeters

*Restriction Kind:* Lithic bedrock

*Aggregation Method:* Dominant Component

*Component Percent Cutoff:* None Specified

*Tie-break Rule:* Lower

*Interpret Nulls as Zero:* No

Hydrologic Soil Group—Erie County, New York



Map Scale: 1:1,460 if printed on A portrait (8.5" x 11") sheet.

0 20 40 80 120 Meters

0 50 100 200 300 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 17N WGS84

## Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Erie County, New York (NY029)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
BfA	Benson very channery loam, 0 to 3 percent slopes	D	2.1	59.2%
WaA	Wassaic silt loam, 0 to 3 percent slopes	C	1.5	40.8%
Totals for Area of Interest			3.6	100.0%

### Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

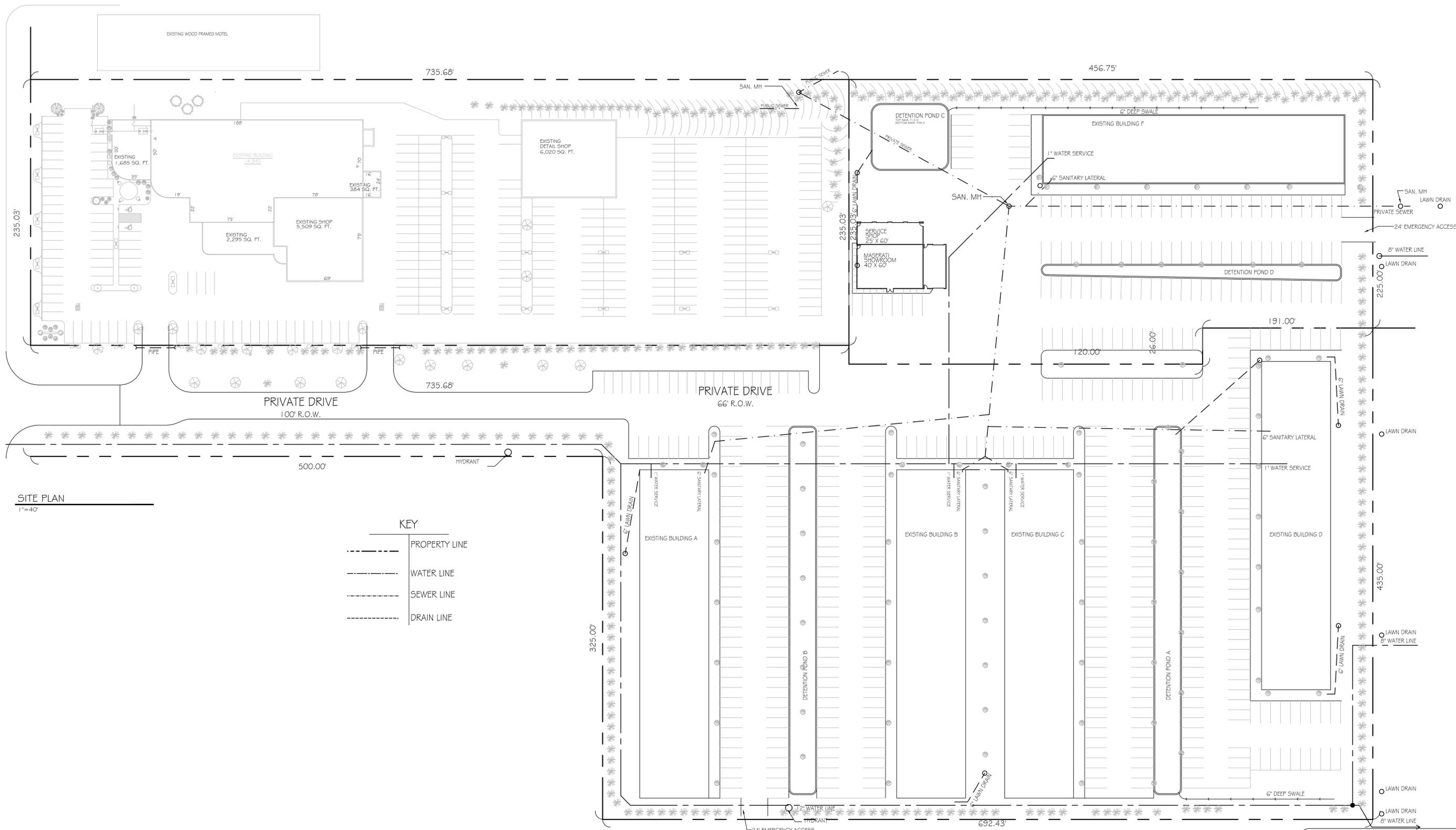
Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

MAIN STREET  
99' R.O.W.



SITE PLAN

1"=40'

KEY

- PROPERTY LINE
- WATER LINE
- SEWER LINE
- DRAIN LINE

THIS DRAWING HAS BEEN PREPARED BY  
A LICENSED PROFESSIONAL ENGINEER  
AND SHALL NOT BE REVISED OR ALTERED  
IN ANY FORM WHAT SO EVER AFTER THE  
APPROPRIATE APPROVAL HAS BEEN AFIXED  
HERE ON.

stamp:

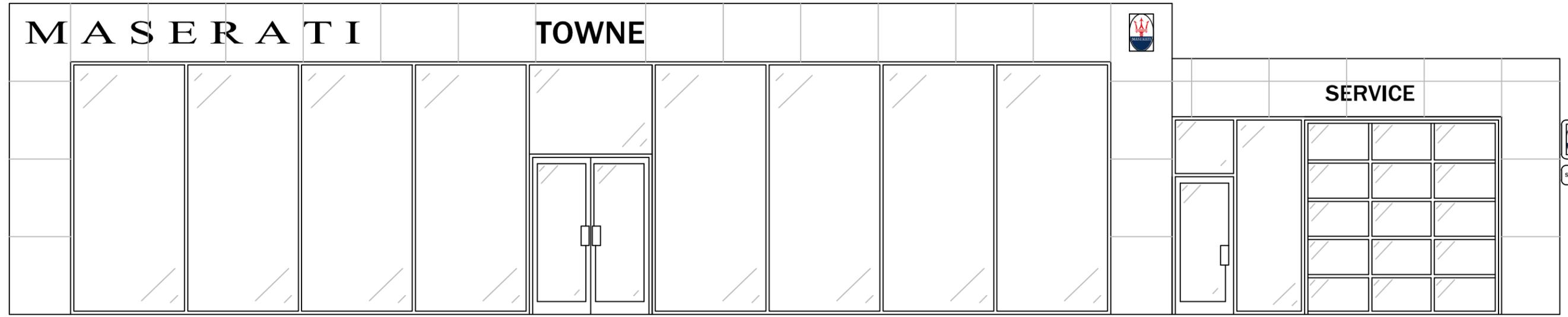
**TOWNE MASERATI**  
8215 MAIN STREET CLARENCE, NY

scale: AS NOTED	drawn by: A. NAPLES
date: 12-12-2014	DRCC#
sheet # & title	

**SP-1** SITE PLAN

**D.R. CHAMBERLAIN CORPORATION**  
INDUSTRIAL-COMMERCIAL CONSTRUCTION  
50 SIMONDS ST., LOCKPORT, NY 14094  
ph. 716-434-7301 fax 716-434-3553

16'-0"   
 13'-0"   
 10'-0"   
 0'-0" F.F. 



ELEVATION  
 3/16"=1'

THIS DRAWING HAS BEEN PREPARED BY  
 A LICENSED PROFESSIONAL ENGINEER  
 AND SHALL NOT BE REVISED OR ALTERED  
 IN ANY FORM WHAT SO EVER AFTER THE  
 APPROPRIATE APPROVAL HAS BEEN AFIXED  
 HERE ON.

stamp:

<b>TOWNE MASERATI</b>	
8215 MAIN STREET CLARENCE, NY	
scale: AS NOTED	drawn by: A. NAPLES
date: 12-12-2014	DRCC#
sheet # & title	
<b>A-1</b>	ELEVATION
 <b>D.R. CHAMBERLAIN CORPORATION</b> INDUSTRIAL-COMMERCIAL CONSTRUCTION 50 SIMONDS ST., LOCKPORT, NY 14094 ph. 716-434-7301 fax 716-434-3553	

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Towne Maserati			
Project Location (describe, and attach a location map): 8215 Main St Clarence New York			
Brief Description of Proposed Action: 4700 sq ft automobile sales and service facility			
Name of Applicant or Sponsor: Bill Wincott w/ D R Chamberlain Corp as agent for Towne Auto Group		Telephone: 716-434-7301	
Address: 50 Simonds St		E-Mail: chamberlainbill@drchamberlainconstruction.	
City/PO: Lockport		State: New York	Zip Code: 14094
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of Clarence Town Board, special use permit and Town of Clarence building permit			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?			2.64 acres
b. Total acreage to be physically disturbed?			.25 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			6.66 acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

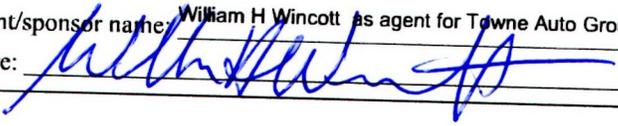


<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?          If Yes, explain purpose and size: _____          _____          _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?          If Yes, describe: _____          _____          _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?          If Yes, describe: _____          _____          _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>

**I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: William H Wincott as agent for Towne Auto Group

Date: 1/23/2015

Signature: 

**NOTICE**  
 This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
 This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

**McGuire**  
 Development Co.

**Proposed Retail Building**

5989 Transit Road  
 Clarence, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri  
 PROJ. ARCH. \_\_\_\_\_ DRAFTER \_\_\_\_\_  
 JOB CAPT. \_\_\_\_\_ INTERIORS \_\_\_\_\_

SEAL:

TITLE:  
**Site Plan**

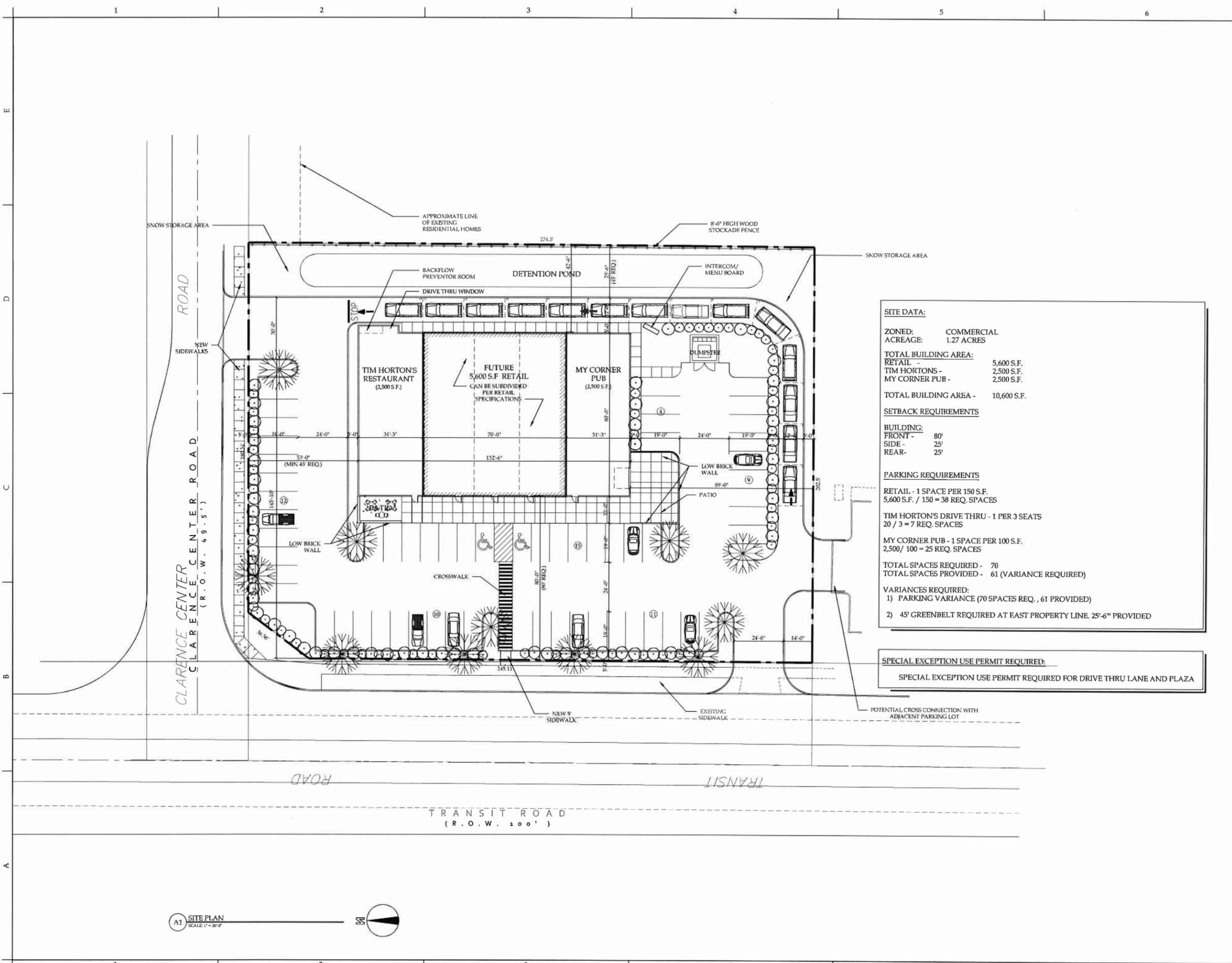


**SILVESTRI**  
 ARCHITECTS · PC

1321 MILLERSPORT HWY PH. 716.691.0900  
 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 11135-02 DATE: 12-09-14

DRAWING #: **AS-102**



**SITE DATA:**

ZONED: COMMERCIAL  
 ACREAGE: 1.27 ACRES

**TOTAL BUILDING AREA:**  
 RETAIL - 5,600 S.F.  
 TIM HORTONS - 2,500 S.F.  
 MY CORNER PUB - 2,500 S.F.

**TOTAL BUILDING AREA - 10,600 S.F.**

**SETBACK REQUIREMENTS**

**BUILDING:**  
 FRONT - 80'  
 SIDE - 25'  
 REAR - 25'

**PARKING REQUIREMENTS**

RETAIL - 1 SPACE PER 150 S.F.  
 5,600 S.F. / 150 = 38 REQ. SPACES

TIM HORTON'S DRIVE THRU - 1 PER 3 SEATS  
 20 / 3 = 7 REQ. SPACES

MY CORNER PUB - 1 SPACE PER 100 S.F.  
 2,500 / 100 = 25 REQ. SPACES

**TOTAL SPACES REQUIRED - 70**  
**TOTAL SPACES PROVIDED - 61 (VARIANCE REQUIRED)**

**VARIANCES REQUIRED:**  
 1) PARKING VARIANCE (70 SPACES REQ. , 61 PROVIDED)  
 2) 45' GREENBELT REQUIRED AT EAST PROPERTY LINE. 25'-6" PROVIDED

**SPECIAL EXCEPTION USE PERMIT REQUIRED:**  
 SPECIAL EXCEPTION USE PERMIT REQUIRED FOR DRIVE THRU LANE AND PLAZA

A1 SITE PLAN  
 SCALE: 1" = 30'

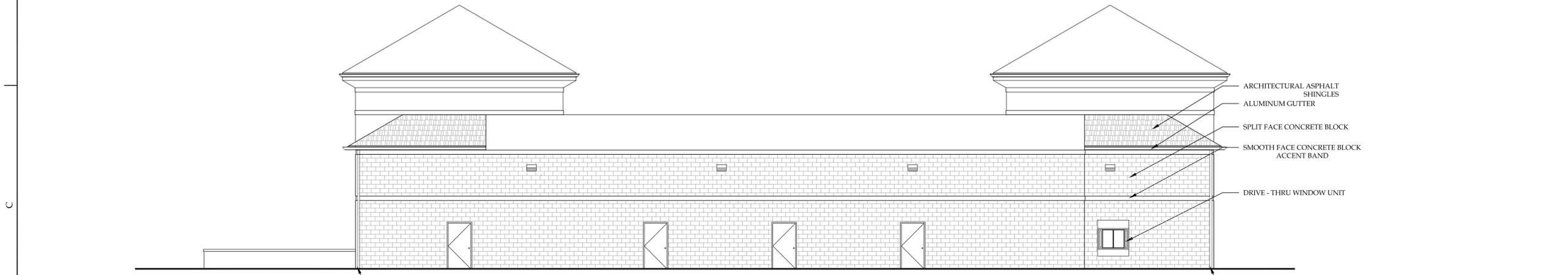
1 2 3 4 5 6



D1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



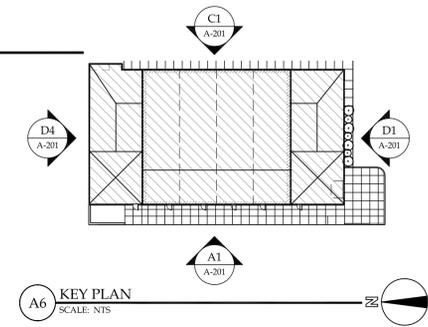
D4 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



C1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



A1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



A6 KEY PLAN  
SCALE: NTS

**NOTICE**  
This document, the property of, prepared and issued by the architect, is submitted for the specific project and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

**McGuire**  
Development Co.

**Proposed Retail Building**  
5989 Transit Road  
Clarence, NY

ISSUE:  
  
SA PROJECT TEAM: PRINCIPAL P. Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER \_\_\_\_\_  
JOB CAPT. \_\_\_\_\_ INTERIORS \_\_\_\_\_

SEAL:  
  
TITLE:

**Exterior Elevations**

**SILVESTRI**  
ARCHITECTS • PC  
1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 11135-02  
DATE: 12-09-14

DRAWING #: A-201

A

B

C

D

E

A

B

C

D

E

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Proposed Retail Building		
Project Location (describe, and attach a general location map): 5989 Transit Road (Southeast corner of the Transit Road and Clarence Center Road intersection) Town of Clarence, NY		
Brief Description of Proposed Action (include purpose or need): Proposed 10,600 square feet of Retail and Restaurant space with a drive-thru window.		
Name of Applicant/Sponsor: Michael J. Metzger, P.E. - Metzger Civil Engineering		Telephone: 716-633-2601
		E-Mail: meteng@roadrunner.com
Address: 8560 Main Street		
City/PO: Williamsville	State: NY	Zip Code: 14221
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): McGuire Development (Attn: James Dentinger - President)		Telephone: 716-829-1980
		E-Mail: jdentinger@mcguiredevelopment.com
Address: 560 Delaware Avenue, Suite 300		
City/PO: Buffalo	State: NY	Zip Code: 14202

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board: Concept Plan, and Special Exception Use Permit,	January 21, 2015
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town PB: Concept Plan and Development Plan	March 4, 2015 and May 1, 2015
c. City Council, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town ZBA: Area Variances	February 10, 2015
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ECDEP-DSM: Sewer Lateral Approval ECDPW: Highway Work Permit	April 2015 May 2015
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC: SPDES General Permit (Stormwater) NYSDOT: Highway Work Permit	May 2015 May 2015
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s):	
NYS Heritage Areas: West Erie Canal Corridor	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
Commercial

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Clarence

b. What police or other public protection forces serve the project site?  
NYS Police and Erie County Sheriff

c. Which fire protection and emergency medical services serve the project site?  
East Amherst

d. What parks serve the project site?  
Not Applicable

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 1.27 acres  
 b. Total acreage to be physically disturbed? \_\_\_\_\_ 1.27 acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 1.27 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? \_\_\_\_\_  
 iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: \_\_\_\_\_ 6 months  
 ii. If Yes:  
 • Total number of phases anticipated \_\_\_\_\_  
 • Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
 • Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_ 1

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ 40.5 height; \_\_\_\_\_ 80 width; and \_\_\_\_\_ 132.5 length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ 10,600 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
 If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
 If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

---

c. Will the proposed action use, or create a new demand for water?  Yes  No  
 If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 1060 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
 If Yes:

- Name of district or service area: Erie County Water Authority - Town of Clarence
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
 If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

---

d. Will the proposed action generate liquid wastes?  Yes  No  
 If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 1060 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
 Sanitary wastewater \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
 If Yes:

- Name of wastewater treatment plant to be used: Town of Amherst Water Pollution Control Facility
- Name of district: Erie County Sewer District # 5
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will line extension within an existing district be necessary to serve the project?  Yes  No

 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

---

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_

---

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 0.97 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 1.27 acres (parcel size)
- ii. Describe types of new point sources. Stormwater will be discharged from the proposed on-site detention pond into the existing public storm sewer system at the street.  
 \_\_\_\_\_
- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 Stormwater runoff from the proposed site will be directed to an on-site detention pond.  
 \_\_\_\_\_

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 Delivery Vehicles \_\_\_\_\_
- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 None \_\_\_\_\_
- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 None \_\_\_\_\_

---

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- ii. In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
86,000 kwh/yr

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Local Utility Company

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: \_\_\_\_\_ 8am - 6pm \_\_\_\_\_
- Saturday: \_\_\_\_\_
- Sunday: \_\_\_\_\_
- Holidays: \_\_\_\_\_

ii. During Operations:

- Monday - Friday: \_\_\_\_\_ 6am - 2am \_\_\_\_\_
- Saturday: \_\_\_\_\_ 6am - 2am \_\_\_\_\_
- Sunday: \_\_\_\_\_ 6am - 2am \_\_\_\_\_
- Holidays: \_\_\_\_\_ 6am - 2am \_\_\_\_\_

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:  
During Construction

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Standard Exterior Site Lighting with height of fixtures, direction/aim and proximity to property lines to be in accordance with Town of Clarence Zoning Ordinance.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally describe proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ 2 tons per \_\_\_\_\_ month (unit of time)
- Operation : \_\_\_\_\_ 0.5 tons per \_\_\_\_\_ week (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Contractor Discretionary
- Operation: Tenant Discretionary

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Commercial Hauler
- Operation: Commercial Hauler

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.1 acres	0.97 acres	+0.87 acres
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: Lawn / Landscaped Areas	1.17 acres	0.30 acres	-0.87 acres

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ > 5 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Colonie Loamy Fine Sand	_____	90 %
Cosad Loamy Fine Sand	_____	10 %
_____	_____	%

d. What is the average depth to the water table on the project site? Average: 0.5 to 6 feet Seasonally

e. Drainage status of project site soils:  Well Drained: 90 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained 10 % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____          _____          _____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:  <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____          _____  <i>ii.</i> Source(s) of description or evaluation: _____  <i>iii.</i> Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If yes, give a brief description of how the proposed action may affect that use: _____          _____</p>	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  <i>i.</i> If Yes: acreage(s) on project site? _____  <i>ii.</i> Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:  <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature  <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____          _____          _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:  <i>i.</i> CEA name: _____  <i>ii.</i> Basis for designation: _____  <i>iii.</i> Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

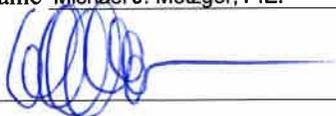
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Michael J. Metzger, P.E. Date January 28, 2015

Signature  Title Agent

# PROJECT LOCATION MAP

Proposed Retail Building

5989 Transit Road, Clarence, New York

