

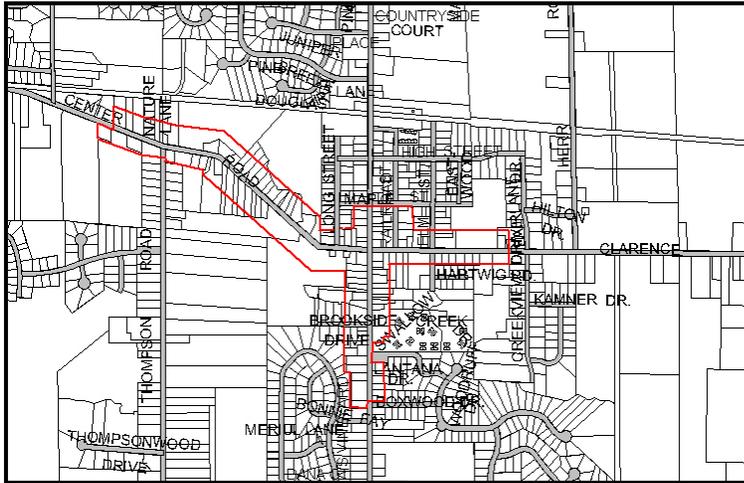
DESIGN GUIDELINES FOR CLARENCE CENTER



❧ CLARENCE CENTER, NEW YORK ❧

August 2012

OVERVIEW OF CLARENCE CENTER



Clarence is the oldest municipality in Western New York, and the Clarence Center is one of the areas first settled in Clarence. This sense of history and tradition makes the Clarence Center area unique. The first settler of the Clarence, Asa Ransom, came in 1799. The Town of Clarence has come a long way since then. Today the Clarence Center Community Character Protection Board is committed to the development, encouragement,

support and enhancement of a positive and varied economic environment consistent with the special historical, agricultural, ecological and community qualities of the Clarence Center.

The Clarence Center Overlay area, extending from Thompson and Clarence Center Road intersection on the west to the intersection of Fairlane and Clarence Center Road on the east, and the Bike Path to the north and Boxwood to the south represents a historically significant section of the Town of Clarence. This quaint area provides a mix of uses, with a few historic structures. With the expansion of population in the outer areas of Clarence Center in subdivisions and the growth of the business corridor of Transit Road, Clarence Center offers unique locally owned and operated shops, restaurants and services. As the population continues to grow, there is the hope that the central business district (CBD) in the “four corners” area and beyond will thrive.

The Town has created a separate zoning classification and district for Clarence Center should be developed using traditional neighborhood principles. The Traditional Neighborhood Zoning District and Clarence Center overlay encourage adaptive reuse of existing structures by relaxing parking requirements, lot size, lot coverage and setback requirements. Also, the district requires that any new buildings should meet an architectural standard, to help match them to the character of the area. Demolition and reconstruction will be discouraged. The Traditional Neighborhood classification is flexible in order to allow for a mix of residential and commercial uses. This district allows residential uses to continue as a permitted use and requires that any new commercial structures allow for 2nd story residential development as a part of the structure. Commercial uses are limited to service and small retail/shop type developments which service the residential character of these areas.



ARCHITECTURAL GUIDELINES

It is not the intent of these guidelines to establish or match any particular architectural style or pattern. In general, the structures should have a hamlet style appearance and scale. Every property in the Clarence Center district is significant in shaping the architectural and historical feeling of the area. All buildings contribute to the look of the area, which is important to prospective and current business owners, residents, and even tourists.

EXISTING BUILDINGS

In order to maintain the character of the Clarence Center, the Town of Clarence keeps the preservation and maintenance of significant buildings in the historic district as a major priority. The Town looks to approve responsible maintenance procedures that will maintain and enhance the historic character of the area. The Town also hopes that businesses and residences of the Center area will take an active interest in preserving and sustaining the area. This includes keeping buildings in good repair, maintaining landscaping, parking and signs, improving existing buildings and building in a way that follows an appropriate architectural style. The existing and historical buildings in the Center are the precedents and inspiration for future buildings. The existing buildings also reflect the economic and social vitality of the district that will attract new businesses and tourists.



When a building of good architecture must be repaired it is necessary to make every attempt to improve it using the same design, building materials and craftsmanship as the original. All improvements to the existing structures should further the goals of the Clarence Center Overlay District, including the preservation of the character of the Clarence Center community as a hamlet style area with mixed uses set up in a historical context. There should also be an attempt to improve walk-ability, connectivity and the neighborhood feel of the Center. The Clarence Center Community Character Protection Board is always available to provide architectural and landscaping suggestions to preserve the integrity of all buildings in the Center.

NEW BUILDINGS

While the Clarence Center area is not comprised of one specific architectural style or building use there is still an attempt by the Town of Clarence to present and conserve a unified, traditional neighborhood in the Center. To an outsider the Clarence Center should feel like an integrated neighborhood. The following is a set of guidelines that can be used to help achieve this sense of integration, though the Town also looks for innovative ideas that extend beyond the scope of these guidelines.

BUILDING TYPOLOGIES



There is no official architectural style that buildings in the Center must follow. Part of its charm is the eclectic variety that already exists. In keeping with this idea, some suggested architectural styles are Greek revival, composite, Italianate, academic, federal, Georgian and cottages. The Town prefers to avoid modernist looking buildings as it is trying to maintain its historic character.

Mixed-use buildings are encouraged. Two-story buildings maintain a scale that is appropriate for the center of the Clarence Center. Using a second floor as housing or office space makes a building more affordable. The false front building type is a good example of the mixed-use typology. It can easily accommodate any combination of housing, retail, civic, and office uses. Another example of the mixed-use typology is the big house type. This is similar in size and scale to a large house, but can be broken down into a combination of retail, office, and civic uses.

For multifamily types, there are many acceptable and encouraged set-ups. The two-family house is similar in scale to a single family home but has 2 front doors. Another multifamily type is the extended farmhouse. This type presents a dominant mass to the street based on a single-family residence type with smaller additions to the rear or side as additional apartments. It could provide up to 5 dwellings. Placing apartments above a commercial building is also encouraged as it provides affordable housing. Garden apartments consist of small apartment buildings aligned to form a well-defined garden space between the buildings. Small apartment buildings can accommodate 4 to 8 units. Courtyard apartments consist of small multi-entry apartment buildings where a street entry court faces the street. The street edge of the courtyard should be defined by a fence, low wall, hedge or change in level.

SITE REGULATIONS



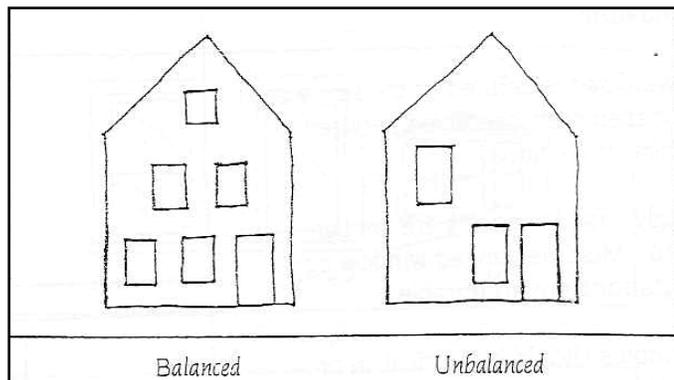
In creating a site plan there are many issues that must be taken into account. The most important being the preservation of the character of the Clarence Center community as a hamlet style area with mixed uses set in an historical context. The plan should improve the walk-ability and connectivity of the area, enhance the neighborhood appeal, and generally follow the principles of Traditional Neighborhood Design. Plans should

also continue and complement elements associated with the streetscape design for Goodrich and Clarence Center Roads. Proposed site plans should ensure that new buildings or building modifications are harmonious with surrounding structures in their use, scale and design. It should minimize the removal or disruption of historic, traditional or significant structures or architectural elements in the hamlet. Also, within the TND and Commercial Zones, it should allow for a mixture of uses that would allow many existing parcels of land and structures to be utilized without the need for a zoning variance.

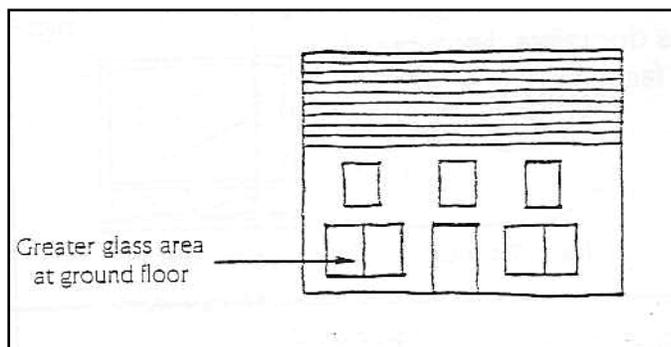
Lot sizes, set-backs and allowable building sizes are spelled out in the specific zoning codes that are included in the Clarence Center Overlay (see References). It should be noted that many of the lots within the older area of the Hamlet are much smaller than would be allowed in a typical Residential-Single Family Zone; this “grandfathered” condition is well within the bounds of maintaining the small community aspect of the Overlay Area. The referenced Zoning Codes also spell out “as of right” uses within each code, and those uses allowed with a Special Exception Use Permit.

The division of land, regardless of zoning classification, are subject to Chapter 193 (Subdivision Law) and Chapter **need number, something like XVIB** (Clarence Center Overlay) of the Code of the Town of Clarence.

Visually interesting activities at the sidewalk edge should be maintained and or established to engage the pedestrian interest. All rooftop units (HVAC) should be properly screened or located so as not to be visible from the street. If a project involves a property that has local historic significance, every effort should be made to preserve the character and integrity of the structure. Additions to any building should respect the original character of the property.



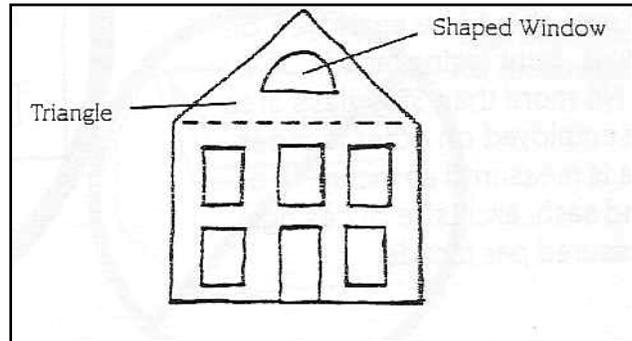
FAÇADE DESIGN



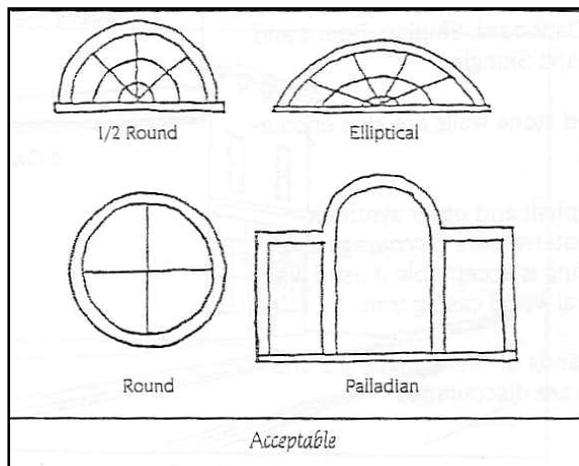
For the design of facades it is necessary to create a balanced appearance in the placement of the windows and doors. Literal symmetry is not required; a general balance of the elements still makes it more pleasing to the eye. It is advised that no more than 35% and no less than 12% of the foremost facing façade should be glass. On other facades it is necessary to use no more than 35% glass. It is

customary that the amount of glass on the lowest floor is greater than the amount of glass on upper floors.

Window size and placement should respect the original design and style of the building. Singly casied and multiple ganged windows are encouraged. Windows should be vertical, in proportions ranging from a 1:2 to a 3:5 ratio of width to height. Shaped windows and windows of 1:1 ratios are acceptable as decorative elements. Windows wider than 3 feet are discouraged except when used at the entry level of a commercial building where it would be appropriate to have windows up to 6 feet in length. Sliding glass doors are discouraged on building facades.



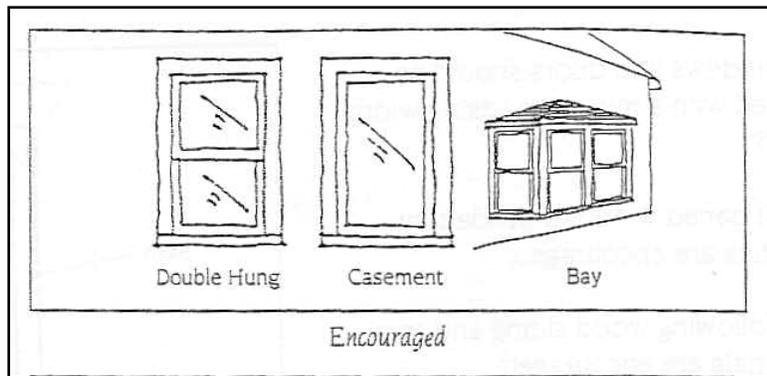
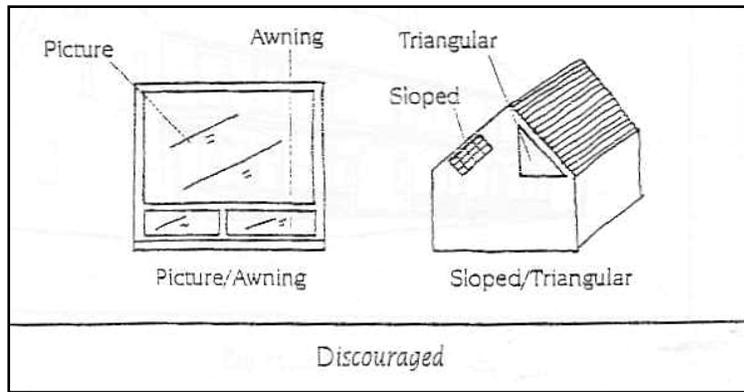
It is advisable that the window styles be consistent across the entire façade. Three of the encouraged window types include double hung, casement, and bay windows. Half round, round, elliptical, Palladian, and skylight windows can be used as decorative windows on the façade. Picture, triangular, and sloped windows are discouraged. Display windows are advisable for the



first floor of commercial buildings; it is best to use muntins to break the expanse of glass into smaller pieces. All windows and doors should be framed with a minimum casing of width of 3 feet 5 inches. Small paned windows divided by muntins are encouraged. Buildings should avoid long monotonous, uninterrupted walls or roof planes. Blank, windowless walls are generally not allowed along street frontage.

The Town of Clarence encourages the use of traditional building materials such as brick, stone, stucco, wood, clapboard, shiplap, board, and shingles. Walls may be clad in brick, stone, marble, cast concrete, vinyl siding, drivit, and

hardiboard or other cement paneling. Metal paneling is prohibited. Vinyl, asphalt and other synthetic materials are discouraged. If using vinyl siding it is recommended to use traditional wood casing trim. Walls, which are visible from the street, may be constructed of any combination of masonry materials and should be in keeping with the character of the surrounding architecture. Two wall materials may be



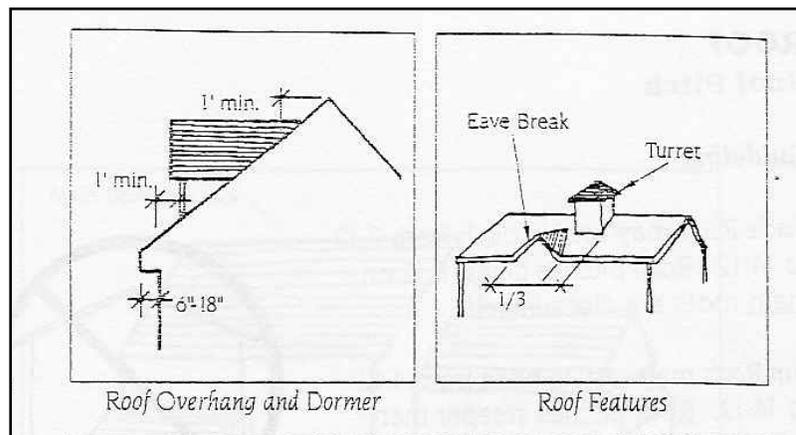
combined horizontally on one façade, though the heavier material must be placed below. The Town strongly encourages all structures in the Traditional Neighborhood Design Zoning District to use proper contrasts in painting schemes. Trim and foundations should be visually differentiated from the main body of the structure. Also, typically, only traditionally painted materials (such as wood) should be painted. No aluminum, vinyl, or similar hybrids shall be used in color schemes. The vertical distance from the mean elevation of the finished grade relative to the

frontage street to the ridgeline of the structure may be at most 40 feet. The only exception is for roof equipment not intended for human occupancy and which is necessary to the structure upon which it is placed.

ROOF GUIDELINES

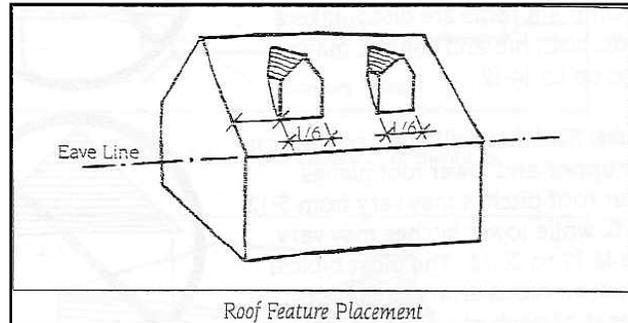
Some of the recommended roof styles include gable roofs and hip roofs. Mansard and gambrel roofs can be used in moderation in this type of neighborhood, as a limited use will add diversity to the neighborhood. For commercial buildings it is acceptable to use a false front roof, though it is best used when it is attached to other buildings in the densest parts of the town. Shed roofs are also acceptable, but only as a secondary roof attached to the dominant building mass.

As the massing of a building gets more complicated the roof will inevitably become more complicated therefore allowing for the use of multiple roof styles. Gables, hips and sheds may be combined in any form, but with mansard roofs only secondary sheds and hips are encouraged. Secondary gambrels should only be combined with main gambrels and gables. Gable roofs may vary in pitch from 7:12 to 14:12. Hip roofs may vary in pitch from 4:12 to 14:12. Roof pitches steeper than 9:12 on main roofs are discouraged for hip roofs. Turrets may range up to 14:12.



For roofs it is appropriate to have overhangs of 6 inches to 18 inches, exclusive of gutters. Details consistent with the period styling of the buildings as discussed in the introduction are encouraged.

Gambrel roofs have different pitches on their upper and lower roof planes. Upper roof pitches may vary from 5:12 to 8:12 while lower pitches may vary from 18:12 to 20:12. The most typical and harmonious arrangement is an upper roof pitch of 5:12 and a lower roof pitch of 20:12.

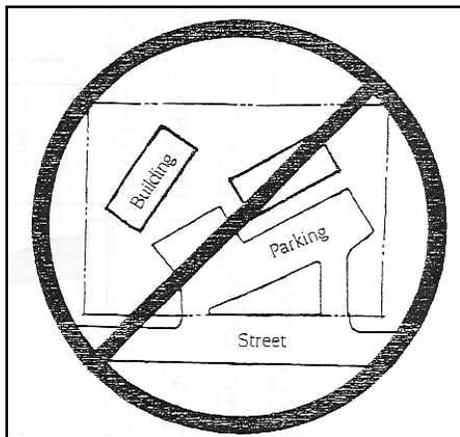


Mansard roofs are built with a concave curve and they are characterized by their protruding eaves and ridges and support brackets below the eave. They may not exceed 8' from eave to ridge. The height of Mansard roofs should be designed in proportion to the size of the façade below. Though dormers are encouraged on Mansard roofs, skylights are not. Shed roofs may vary in pitch from 4:12 to 14:12. Rooflines should not be flat. All rooftop equipment should be encased in the building material that matches the structure or is visually compatible with the structure.

Dormers, lanterns, turrets, eave breaks and skylights may be added in proportion to the roof's overall size. Cumulatively they should interrupt the roof plane no more than 1/3 of the length of the eave line. Dormers should be set back from the face of the building at least 1' and from the building sides at least 3 feet. The face of the dormer should be minimal in height and made up mostly of window area. The dormer roof should connect to the main roof at least 1 foot below the main roof ridge line. The roof pitch of gable dormers should match the roof pitch of the main roof. Shed roof dormers that envelop the main roof slope are discouraged. Also discouraged are inset dormers.

Dormers, lanterns, turrets, eave breaks and skylights may be added in proportion to the roof's overall size. Cumulatively they should interrupt the roof plane no more than 1/3 of the length of the eave line. Dormers should be set back from the face of the building at least 1' and from the building sides at least 3 feet. The face of the dormer should be minimal in height and made up mostly of window area. The dormer roof should connect to the main roof at least 1 foot below the main roof ridge line. The roof pitch of gable dormers should match the roof pitch of the main roof. Shed roof dormers that envelop the main roof slope are discouraged. Also discouraged are inset dormers.

PARKING



All parking should be located at the side or rear of the building as parking will generally not be allowed in the front of the building. Parking lots will not abut street intersections. If the parking is located in the side yard then it must be partially screened from the road by low walls, fences or hedges and approved by the Town's Landscape Committee. Screening should be a minimum of 42 inches in height, should be continuous and should conceal the parking areas from the street. Fences that are visible from the street may be constructed of wood (or a synthetic material simulating wood), ornamental iron, stonewalls, picket fences, evergreen or deciduous hedges or other

material(s) in keeping with the character of the surrounding architecture. Picket and ornamental iron are appropriate fence treatments within the district. No corrugated metal, corrugated fiberglass, woven wire, or barbed wire fences will be permitted adjacent to the street right-of-way. Concrete block and cast in place concrete walls are not permitted. A woven wire fence may be allowed if it is screened from the street by the use of an evergreen hedge or other

acceptable material. All screening should be located inside the applicant's property boundary and should not encroach onto the public sidewalk. Screening should not limit a driver's visibility of the sidewalk or street when exiting any off-street parking lot. Where the driveway intersects the street right-of-way, there should be no fence, wall, hedge or other material higher than 42 inches above the ground for a distance of at least 15 feet on either side of the driveway. All dumpsters and loading areas shall be screened from the road by landscaping, fencing, or walls.

Off-street parking standards may be relaxed by the Planning Board to allow a minimum of the following:

- For business uses: the lesser of one space per employee/occupant or 1 space per 1,000 square feet of usable commercial floor space.

- For residential units: one space per dwelling unit.

- For any use proposed which requires demolition of an existing structure, the standard Commercial Zone requirements as to setback and parking will be required, with parking to the rear of any building.



All buildings and impervious surfaces including, but not limited to, parking areas and public or private drives may not cover more than 60 percent of a project site. It is encouraged to have internal vehicular connections with adjacent parking lots.

Where a property owner has shared access and shared parking arrangements with adjoining property owners in perpetuity the lot coverage requirements may be increased to 85 percent of the lot. On street parking directly fronting the lot will count toward fulfilling the parking requirements of that lot. The Planning Board may reduce off-street parking requirements

during the site plan review process to one parking space per 1000 square feet of building space. Cross-access and shared parking arrangements may be used to meet the minimum parking requirements for the proposed use. It is necessary to provide a connection between the site and the existing sidewalk system. Also, pedestrians and bicycles should be accommodated in the site design.

❧ LANDSCAPE ❧

The Town of Clarence hopes to preserve its rural character through preservation of the natural landscape and the introduction of pleasant landscaping in more developed areas. Therefore, in the Clarence Center area it is necessary to landscape and preserve the area following the tradition of the Town, and the Western New York region. Landscape is considered an integral part of site design and shall have an appropriate balance of major deciduous trees, evergreens, and shrubs. The landscaping design should take into consideration the effect of the landscaping on surrounding buildings and sites. It should provide privacy and screening for adjacent land uses, with visual, noise, and air quality factors considered. It is good to preserve and incorporate as much of the natural features and vegetation in the landscape wherever possible. Landscaping should be used throughout the site to prevent monotony of cars and paving.



The Clarence Center area is situated along Goodrich and Clarence Center Roads, and due to the heavy traffic flow on that street, it is necessary to create a buffer zone between the road and the buildings. A buffer zone can be created with the use of trees, shrubs, fencing, and stonewalls. Other landscaping, which must be considered for the area, is ornamental lighting, street furnishings, and ornamental features which are integrated with the vegetation.

Paved walkways from the existing public sidewalks in the Goodrich and Clarence Center Roads right-of-way to the interior of the property are required. Materials may include concrete, brick, pre-cast concrete pavers or a combination of materials that are in keeping with the character of the surrounding architecture and streetscape. Asphalt walkways are not permitted. All new driveways within the Goodrich and Clarence Center Roads right-of-way should be constructed of concrete, concrete pavers, brick pavers or a combination of materials in keeping with the character of the surrounding architecture and streetscape. Asphalt driveways will not be permitted within the right-of-way. A driveway (highway access) permit is required by the N.Y.S. Department of Transportation for any new driveway within the roadway right-of-way. *Asphalt versus concrete in R-O-W needs to be resolved.*

All landscaping is to be designed in accordance with the streetscape plan for Goodrich and Clarence Center Roads in the Clarence Center area. A copy of these design guidelines can be obtained through the Town. A site and landscape plan showing existing and proposed buildings, walks, driveways, off-street parking, freestanding walls, fences, landscaping and any other site amenities is required. The site plan must be submitted for review and approval to the Town Landscape Committee and the Clarence Center Community Character Protection Board for all development projects requiring site plan approval. The landscape plan must be submitted and reviewed as a part of the review procedure. It should be prepared by a New York State registered Landscape Architect or Certified Nurseryman for review by the Planning Board, Landscape Committee, and Community Character Protection Board. Please reference the Landscape Ordinance for complete information.

❧ SIGNS ❧



The Town of Clarence recognizes that signage is necessary within the Clarence Center area, but like other design elements there is a responsibility to make sure that such signage respects the character of the historic Center. The Town believes that well designed, properly located, and carefully maintained signs both reflect and contribute to the economic and social vitality of the community. Signage should be as varied as the buildings in the Center. Signs should help to define and enhance the architectural elements of a building; they should not cover, obscure or overwhelm them. The location of the sign usually determines its size and direction. Signs should identify business names, not advertise or use brand names or logos. Internally illuminated signs are prohibited. If externally illuminated, it should be discreet and carefully integrated into the design of the signs. Bare bulbs, mirrors, moving and flashing signs are discouraged. The color scheme of

the signs should remain simple, monotone or two-tone usually works best. The use of natural materials, such as wood and metal, is encouraged. It is good to use traditional symbols to identify services and a minimum of words. The most effective signs are simple and clear. The Town strives to maintain signage requirements that compromise neither the design qualities of the Center nor the ability of individual businesses to be successful. All applications for new signs shall be referred to the Community Character Protection Board and the Planning Board for review and comment prior to approval by the Town of Clarence Sign Review Board as established under Chapter 181 of the Code of the Town of Clarence. All of these guidelines are just that, guidelines. The Clarence Center Community Character Protection Board looks for imaginative and innovative designs that will add to the character of the Clarence Center. The Clarence Center Community Character Protection Board is always open to giving suggestions and helping new builders in the Center area.

❧ PROCESS ❧

In order to build or change existing structures in the Clarence Center it is necessary to follow the processes set up in the Town of Clarence Zoning Law. These processes are spelled out in Article XVI of Chapter 229 of the Town of Clarence Code which describes, in general, two steps – Concept Plan Approval followed by Development Plan Approval.

The Community Character Protection Board, appointed by the Town Board, will be asked to review all site plans submitted for approval within the Clarence Center Overlay zone. This review will normally be done at both the Concept Plan and Development Plan phases, where the Community



Character Protection Board will act as recommending body to the Town and Planning Boards.

☞ CONTACT INFORMATION ☞

Town of Clarence Planning & Zoning Department
1 Town Place
Clarence, NY 14031
Phone: (716) 741-8933
Fax: (716) 741-8257
Website: www.clarence.ny.us

Clarence Center Community Character Protection Board
1 Town Place
Clarence, NY 14031
Phone: (716) 741-8933
Fax: (716) 741-8257

Clarence Center Association
Phone: (716) 741-9999
Website: www.clarenceCenter.org

☞ REFERENCES ☞

CODE OF THE TOWN OF CLARENCE

Chapter 131 LANDSCAPE AND TREE CONSERVATION

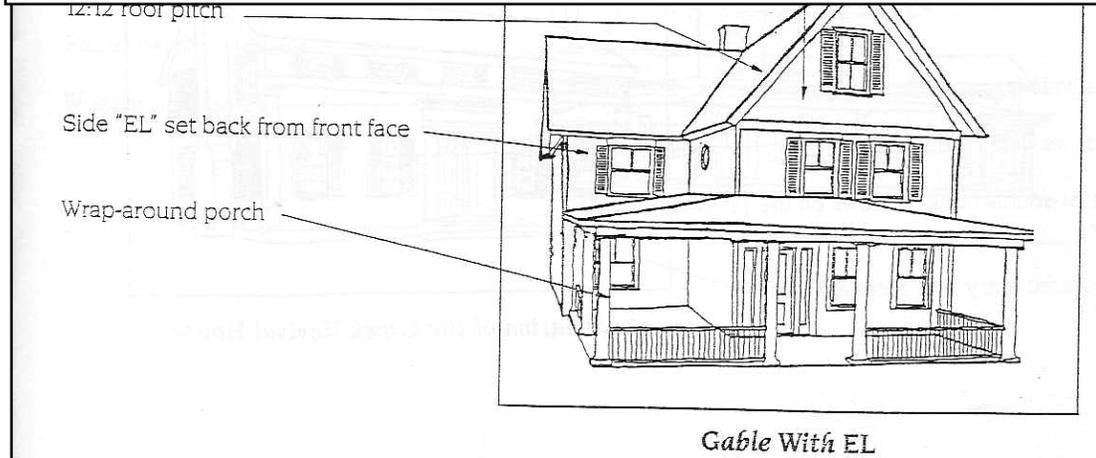
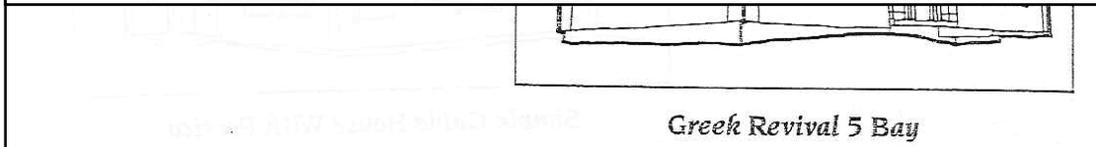
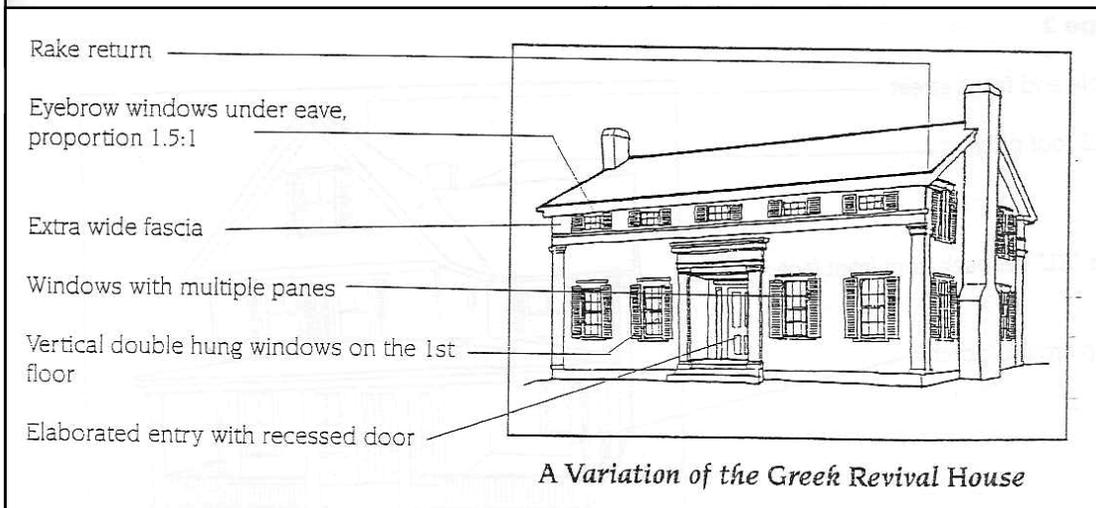
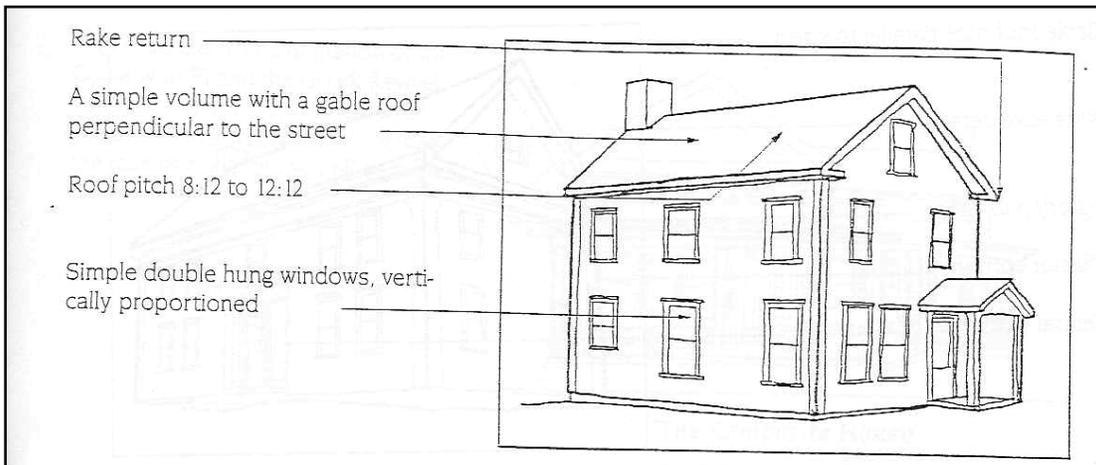
Chapter 181 SIGNS

Chapter 229 ZONING

- ARTICLE VI **R-SF Residential Single Family**
- ARTICLE VII **TND Traditional Neighborhood**
- ARTICLE X **C Commercial**
- ARTICLE XV **Special Exception Use Permits**
- ARTICLE XVI **Administration**
- ARTICLE XVIB **CC-O Clarence Center Overlay District**

Master Plan 2015 (August 2001)
Clarence Center Improvements Study (September 2003)
Saratoga Springs, NY: Guidelines for Historic Preservation

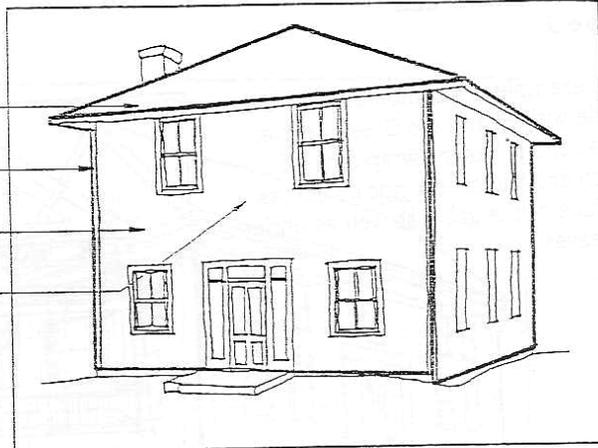
☞ PICTURE INDEX ☞



LOCAL EXAMPLES

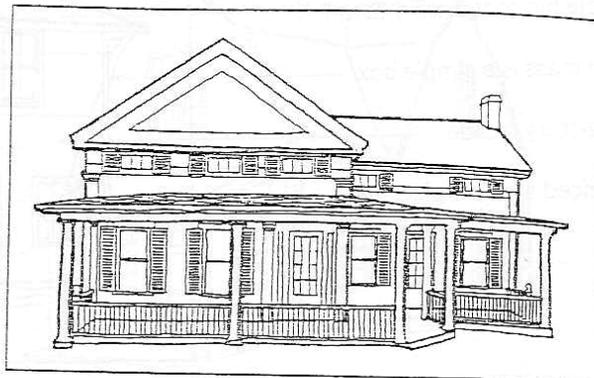
Type 7

- Simple hip roof pitch 5:12 to 7:12
- Main mass is a simple box
- 1 or 2-story facade
- Balanced window placement



Hip Roof, Academic Style

This example is a combination of the Gable with El and the Greek Revival Variation. It has the wrap-around porch and the attic windows across the face of the gable as well as under the eaves.



The Composite House

Chimneys are centrally located or at the gable wall or at both gable walls near the peak

Roof pitch 8:12 to 9:12

Palladian windows

2-story, 3 to 5 bay facade with balanced door and window placement

Embellished entry: fan window, sidelights pilastered on full portico

Siding is brick, wood, shingle or clapboard

Sidewall materials are shingle or brick and may differ from facade

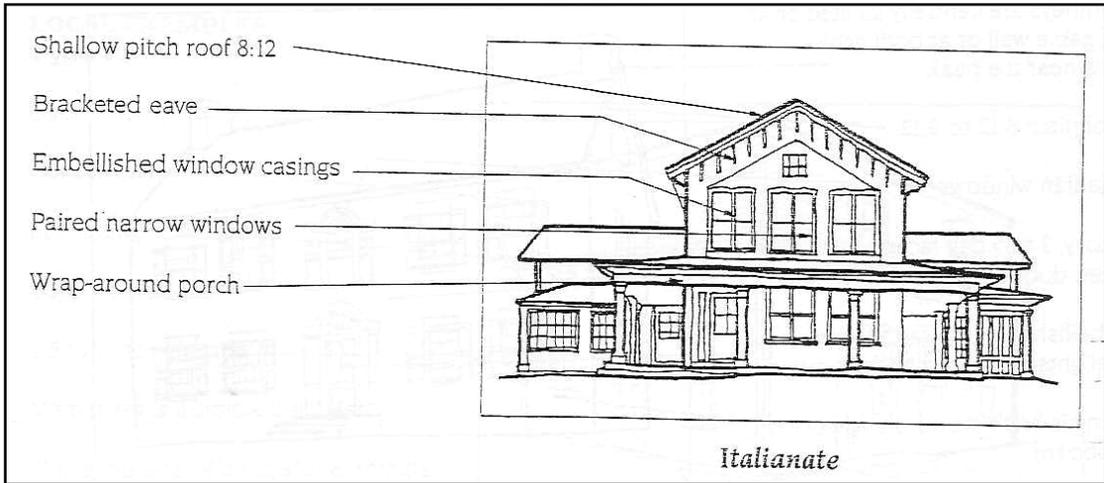
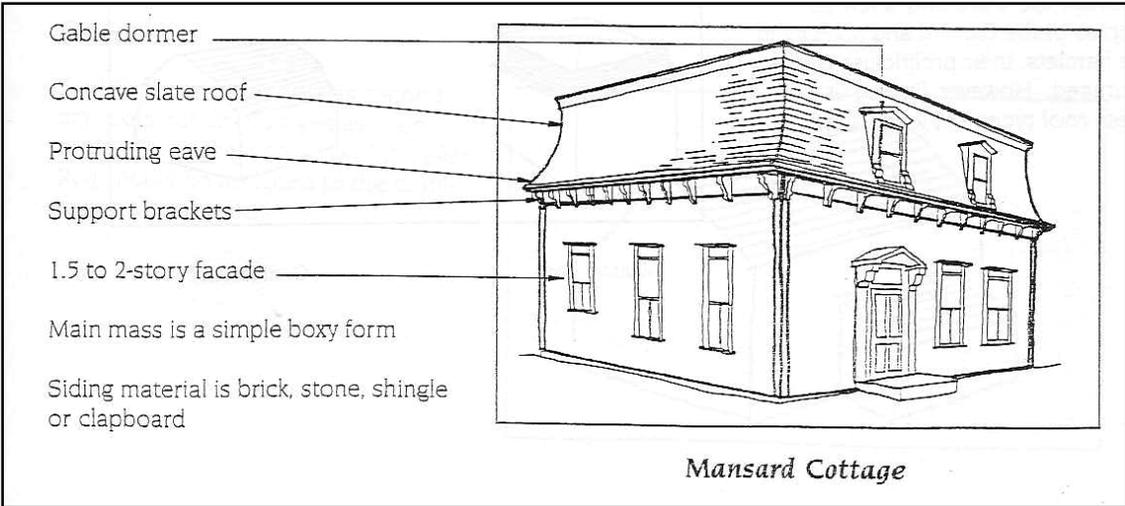
Brick facades have brick sidewalls



Federal and Georgian

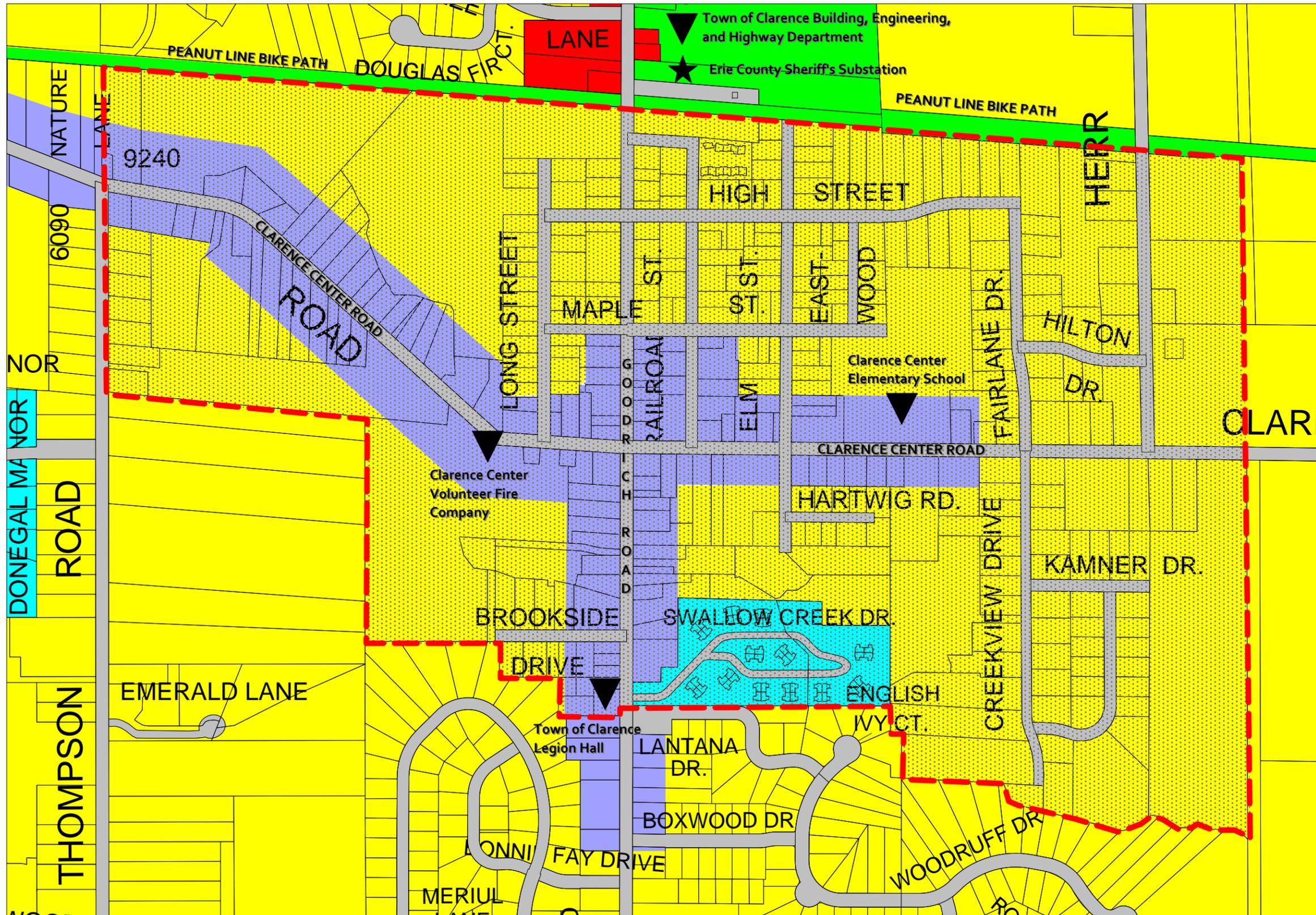
Chimneys in the lower roof slope

Gambrel Roof





PROPOSED CLARENCE CENTER DESIGN GUIDELINES DISTRICT BOUNDARY



- Residential Single-Family
- Traditional Neighborhood
- Commercial
- Community Facility
- Planned Unit Residential Development (repealed)

6.0	CLARENCE CENTER OVERLAY	CC-O
------------	--------------------------------	-------------

5.1 PURPOSE AND INTENT

- A. In accordance with the recommendations and policies of the Town’s comprehensive plan, the Clarence Center Overlay is intended to:
 1. Preserve the character of the Clarence Center community as a hamlet style area with mixed uses set in an historical context.
 2. Encourage and enhance the principals of Traditional Neighborhood Design, which call for a mixture of uses, improved walkability/connectivity, enhancement of neighborhood appeal, preservation of community character, etc.
 3. Continue and complement the design elements associated with the streetscape design for the overlay district.
 4. Maintain and improve the traffic conditions and the walkability and pedestrian circulation of the area as development and redevelopment take place.
 5. Ensure that new buildings or building modifications are harmonious with surrounding structures in their use, scale and design
 6. Encourage the preservation of existing building and sites in a manner that maintains the historic and distinctive character of the hamlet.
 7. Minimize the removal or disruption of historic, traditional or significant structures or architectural elements in the hamlet.
 8. Allow for a mixture of uses that would allow many existing parcels of land and structures to be utilized without the need for a zoning variance. Any specific mention of/for development of small business?

5.2 BOUNDARY

- A. General Boundary: In general, this overlay zone represents all that area situated between Herr and Thompson on Clarence Center Road and Maple and Lantana along Goodrich Road, including all properties that have frontage along Goodrich and Clarence Center Roads and the neighborhoods within the area.

5.3 PERMITTED USES

- A. Permitted uses: the uses permitted in the Clarence Center Overlay shall be the same uses as permitted in the underlying zoning districts.
- B. Accessory uses: the accessory uses permitted in the Clarence Center Overlay shall be the same accessory uses as permitted in the underlying zoning district(s).

5.4 AFFECT UPON SUBDIVISION REGULATIONS

- A. The division of lands, regardless of the zoning classification, shall be subject to Chapter 193 of the Code of the Town of Clarence (Subdivision Law). The following special regulations/requirements shall apply to all subdivisions of lands within this overlay district:

Central Business District Area:

- a) In dividing parcels or combining parcels, the number of curb cuts (street access /driveways) to Clarence Center and Goodrich Roads and all secondary roads in the overlay district shall

6.0	CLARENCE CENTER OVERLAY	CC-O
-----	-------------------------	------

be minimized or reduced where practical. Shared driveways and cross access connections shall be encouraged.

Residential Area:

- a) No purchasing of properties, tearing homes down and combining parcels to make larger homes and property.

5.5 SITE DESIGN REQUIREMENTS

A. Architecture: A 3 to 5 member Community Character Protection Board shall be appointed by the Town Board to review all site plans submitted for approval within the Clarence Center Overlay Zone. Such Board shall be a recommending body to the Town Board/Planning Board and shall meet as required and requested by the Town Board. (It is not the intent of these requirements to establish or match any particular architectural style or pattern.) In general, the structures should have a hamlet style appearance and scale and meet the following standards:

1. Design elements should follow the Town's "Clarence Center Design Guidelines" (copies to be obtained from the Town).
2. Stoops, open colonnades, open porches, balconies, and bay windows may encroach into the front yard setback.
3. There shall be no building(s) that include internally illuminated signs. The color scheme of the signs should remain monotone or two-tone.
4. Building design materials shall include stone, brick and natural appearing materials. In concert with the residential character of the surrounding area, the use of vinyl siding shall also be allowed.
5. Blank concrete block walls or sheet metal at street level shall be avoided. Visually interesting activities at the sidewalk edge shall be maintained and/or established to engage pedestrian interest.
6. Painting: The Town strongly encourages all structures in the TND zoning district to use proper contrasts in paint schemes. Trim and foundations should be visually differentiated from the main body of the structure. Also, typically, only traditionally painted materials (such as wood) should be painted. No aluminum, vinyl, or similar hybrids shall be used in color schemes. Property owners should consult the Clarence Center Design Guidelines and the standards set in that document.
7. All rooftop units (HVAC) shall be properly screened or located so as not to be visible from the street.
8. If a project involves a property that has local historic significance, every effort should be made to preserve the character and integrity of the structure working with the property owner to utilize all Historic Preservation options, including pending laws.
9. Additions to any building shall respect the original character of the property and surrounding property.

B. Landscaping: All landscaping shall be designed in accordance with the Streetscape Plan for Main Street in the Clarence Center area. A copy of these design guidelines can be obtained through the Town. For all development projects requiring site plan approval in the Central Business District area, a site plan shall be submitted for review and approval to the Town Landscape Committee and

the Clarence Center Community Character Protection Board. The following elements shall be included in the required landscape submittal:

1. A site plan showing existing and proposed buildings, walks, driveways, off-street parking, freestanding walls, fences, landscaping and any other site amenities is required.
 - a. Walks - paved walkways from the existing public sidewalks in the Goodrich and Clarence Center Road right-of-way (R.O.W.) to the interior of the property are required. Materials may include concrete, brick, pre-cast concrete pavers or a combination of materials that are in keeping with the character of the surrounding architecture and streetscape. Asphalt walkways are not permitted.
 - b. Driveways – all new driveways within the Goodrich and Clarence Center Road R.O.W. shall be constructed of concrete, concrete pavers, brick pavers or a combination of materials in keeping with the character of the surrounding architecture and streetscape. Asphalt driveways will not be permitted within the R.O.W. A driveway (highway access) permit is required by the N.Y.S. Department of Transportation for any new driveway within the roadway R.O.W.
 - c. Screening of Off-Street Parking – All off-street parking areas shall be screened from the street. Screening should be a minimum of 42” in height, should be continuous and should conceal the parking area(s) from the street. Methods of screening many include stonewalls, picket fences, evergreen or deciduous hedges, other suitable landscape materials or a combination of materials. All screening should be located inside the applicant’s property boundary and should not encroach onto the public sidewalk. Screening should not limit a driver’s visibility of the sidewalk or street when exiting any off-street parking lot. Where the driveway intersects the street right-of-way, there should be no fence, wall, hedge or other material higher than 42” above grade for a distance of at least 15 feet on either side of the driveway.
 - d. Walls - walls, which are visible from the street, may be constructed of stone, brick, stucco or a combination of masonry materials and should be in keeping with the character of the surrounding architecture. Concrete block and cast in place concrete walls are not permitted.
 - e. Fences – fences which are visible from the street may be constructed of wood (or a synthetic material simulating wood), ornamental iron or other material in keeping with the character of the surrounding architecture. Picket and ornamental iron are appropriate fence treatments within the district. No corrugated metal, corrugated fiberglass, woven wire, or barbed wire fences will be permitted adjacent to the street right-of-way. A woven wire fence may be allowed if it is screened from the street by the use of an evergreen hedge or other acceptable material.

C. Other Design Requirements

1. Signage

The Town of Clarence recognizes that signage is necessary within the Clarence Center area, but like other design elements there is a responsibility to make sure that such signage respects the character of the historic Clarence Center. The Town strives to maintain

6.0	CLARENCE CENTER OVERLAY	CC-O
-----	-------------------------	------

signage requirements that compromise neither the design qualities of the Center nor the ability of individual businesses to be successful. All applications for new signs shall be referred to the Community Character Protection Board, as herein established, for review and comment prior to approval by the Town of Clarence Sign Review Board as established under Chapter 181 of the Code of the Town of Clarence.

- 2. Other aesthetic requirements:
 - a. All dumpsters and loading areas shall be screened from the road by landscaping, fencing, or walls.
 - b. Lighting shall adhere to the guidelines set forth in the Clarence Center Design Guidelines.
 - c. Benches, garbage cans, shelter

- 3. Parking
 - a. The Town Board may reduce off-street parking requirements during the site plan review process to one (1) parking space per one thousand square feet (1,000 sq. ft.) of building space.
 - b. On-street parking may be counted as parking area for a business use if it is directly fronting the business property.
 - c. Cross-access and shared parking agreements may be used to meet the minimum parking requirements for the proposed use.

5.6 UNDERLYING ZONING DISTRICT REGULATIONS

Unless specifically addressed in this chapter, all other underlying zoning district regulations shall apply.

617.20
Appendix C
State Environmental Quality Review
SHORT ENVIRONMENTAL ASSESSMENT FORM
For UNLISTED ACTIONS Only

PART I - PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)

1. APPLICANT/SPONSOR Clarence Town Board	2. PROJECT NAME Clarence Center Overlay Zone
3. PROJECT LOCATION: Municipality <u>Town of Clarence</u> County <u>Erie</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>Clarence Center Hamlet area as identified on attached Map.</u>	
5. PROPOSED ACTION IS: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input checked="" type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <u>Adoption of a Zoning Code Amendment to create an Overlay Zone for the Clarence Center Hamlet in the area identified in the attached map to provide guidelines for future construction and to create a Community Character Protection Board to review and recommend on future permits in the zone.</u>	
7. AMOUNT OF LAND AFFECTED: Initially <u>368.8 +/-</u> acres Ultimately <u>368.8 +/-</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency(s) name and permit/approvals:	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency(s) name and permit/approvals:	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Clarence Town Board</u> Date: <u>August 2012</u> Signature: <u>James B. Callahan, Director of Community Development</u>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment



PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN **ANY** ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:
No.

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:
No.

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:
No.

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:
No.

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:
No.

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:
No.

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:
No.

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)?
 Yes No If Yes, explain briefly:

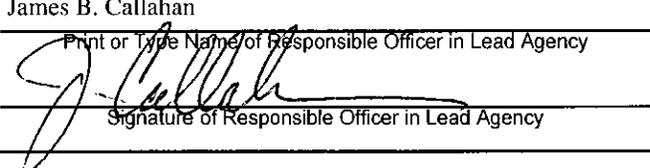
E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If Yes, explain briefly:

PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D of Part II was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

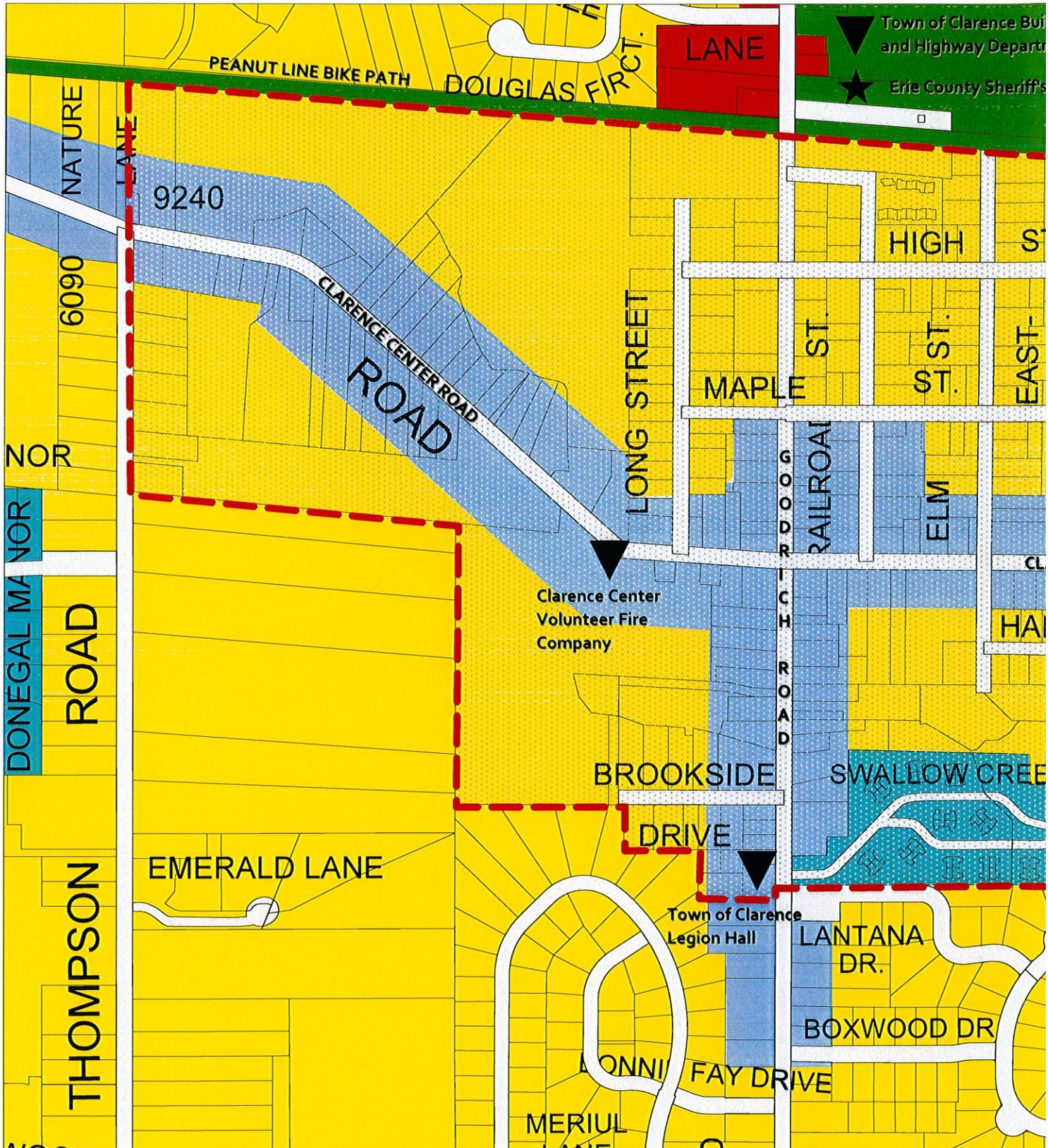
Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide, on attachments as necessary, the reasons supporting this determination.

Clarence Town Board _____ Name of Lead Agency James B. Callahan _____ Print or Type Name of Responsible Officer in Lead Agency  _____ Signature of Responsible Officer in Lead Agency	August 2012 _____ Date Director of Community Development _____ Title of Responsible Officer _____ Signature of Preparer (If different from responsible officer)
--	--





PROPOSED CLARENCE CENTER GUIDELINES DISTRICT BOUND





Velocity Servers

Office Renovations

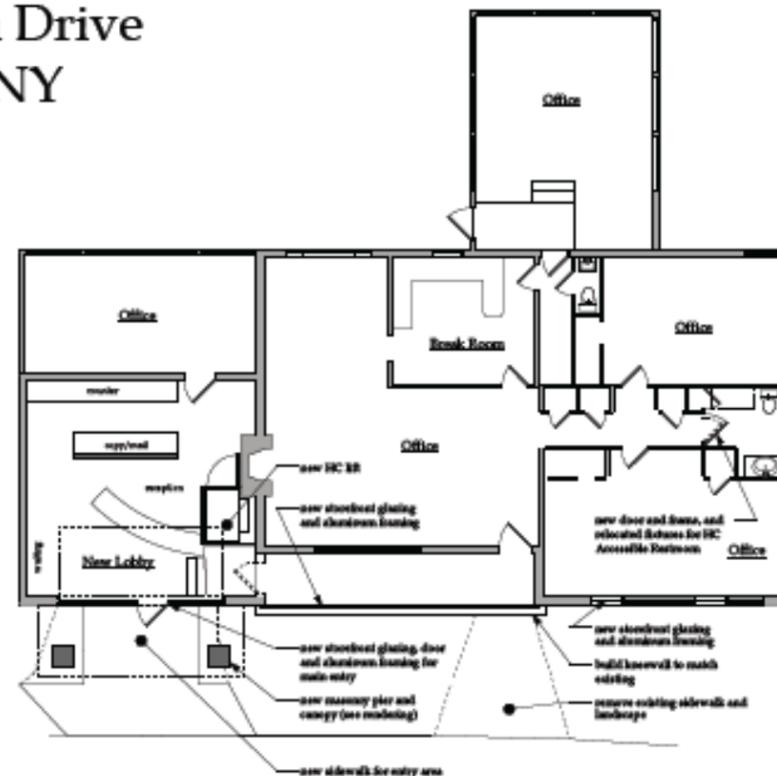
8195 Sheridan Drive
Clarence, NY



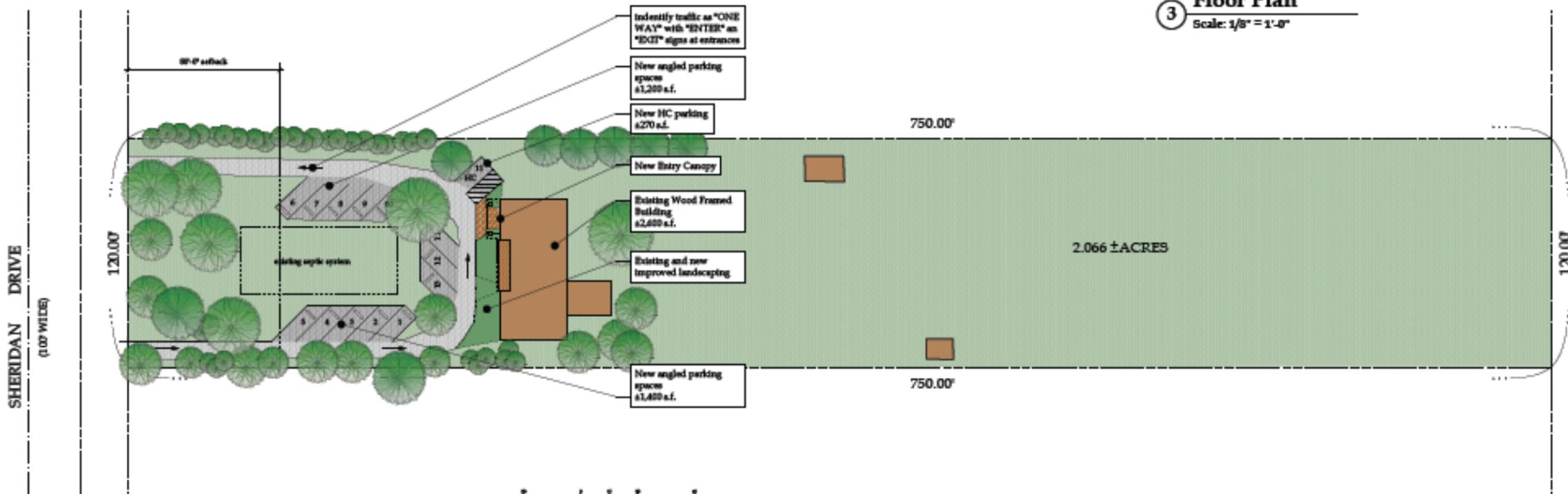
1 Photo Rendering
No Scale



2 Existing Photo
No Scale



3 Floor Plan
Scale: 1/8" = 1'-0"



Proposed Site Plan
Scale: 1" = 30 ft



K2 Architecture
102B Main Street
Clarence, NY 14031
(716) 759-0585
Fax: 759-0593



Velocity Servers
Office Renovations
8195 Sheridan Drive
Clarence, NY 14221

K2 Architecture PLLC
These documents and their contents are the property of K2 Architecture PLLC and are not to be used, copied, or reproduced in any form without the written consent of K2 Architecture PLLC. This document is not to be used for any other project without the written consent of K2 Architecture PLLC. Professional Engineer Seal Required.

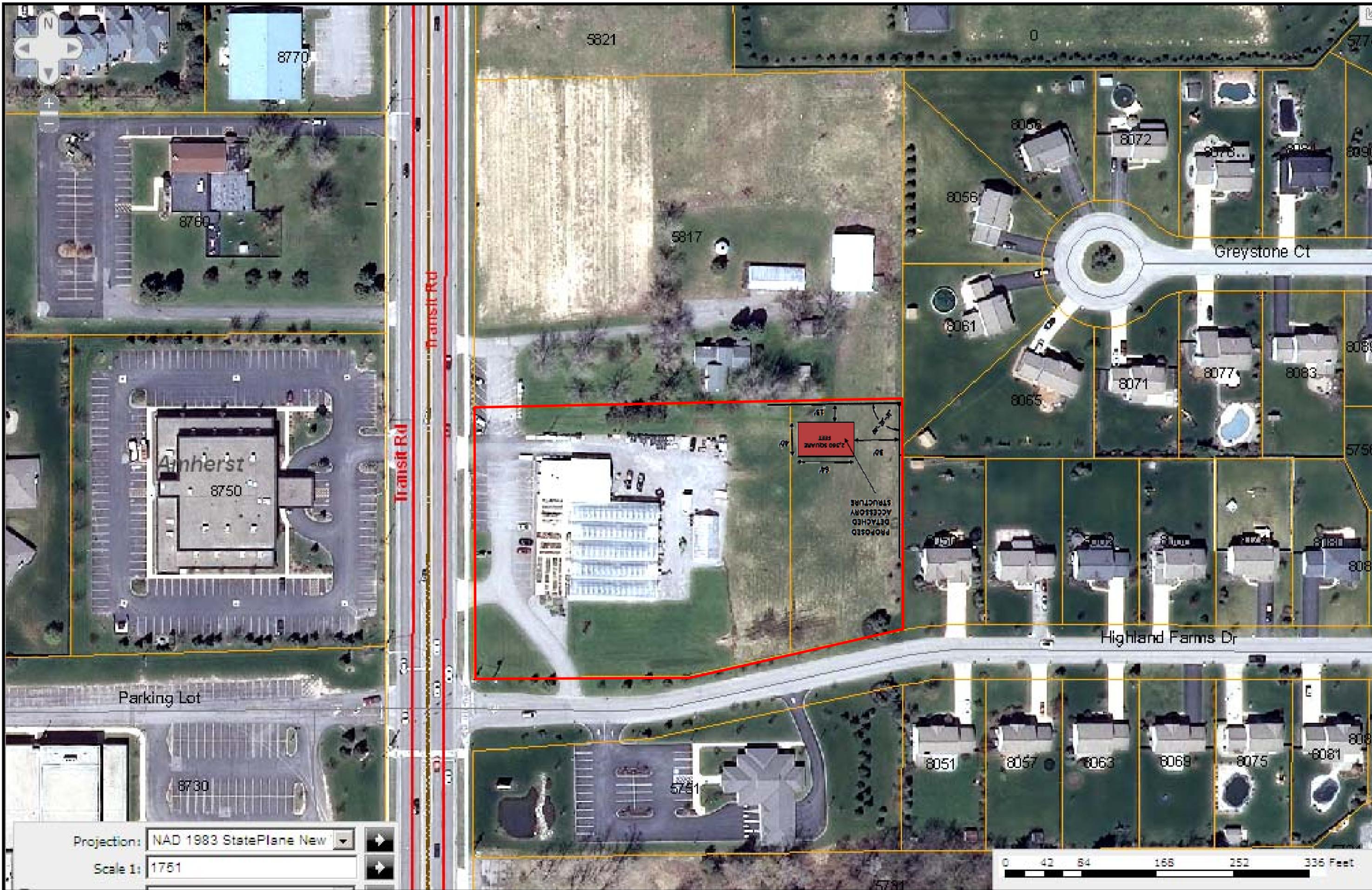
NO.	REVISIONS	DESCRIPTION	DATE

Cover Sheet & Site Plan

A-0

JOB NO. 12016

DATE: July 9, 2012 DOCUMENT STATUS: Bid Set Permit Set Final For Construction

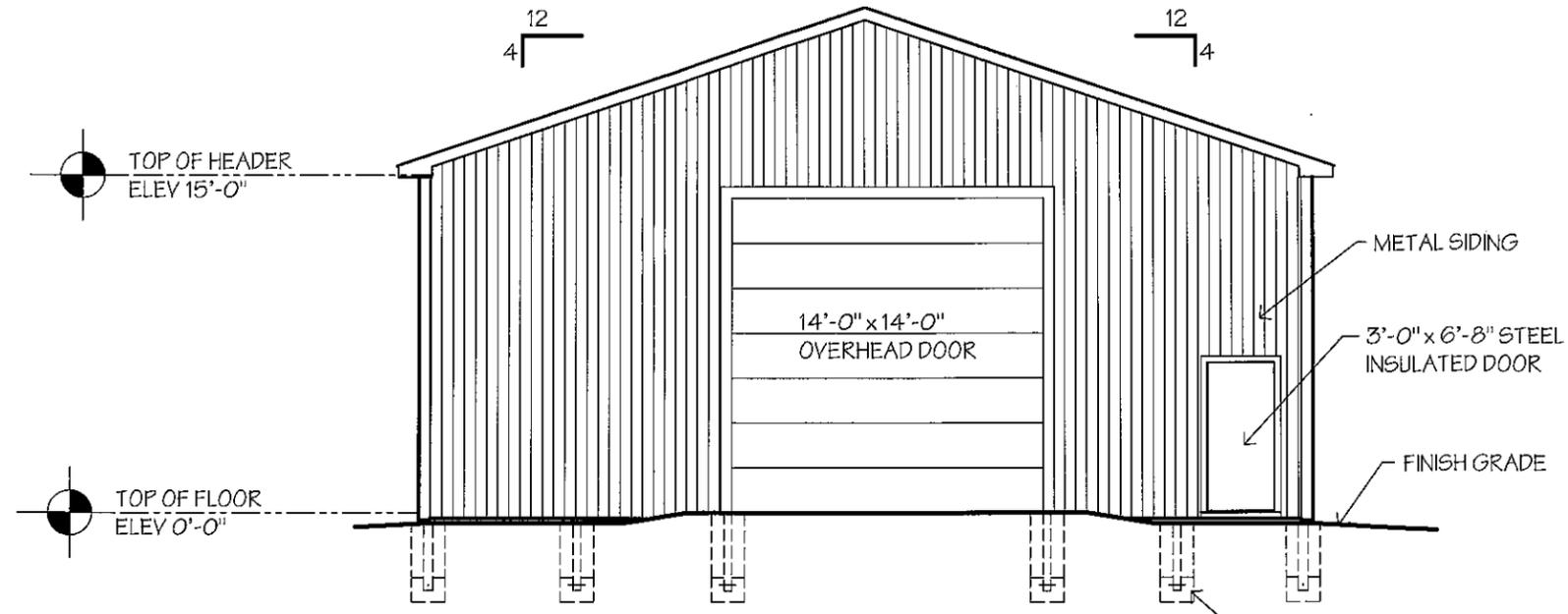


Projection: NAD 1983 StatePlane New

Scale 1: 1751

0 42 84 168 252 336 Feet

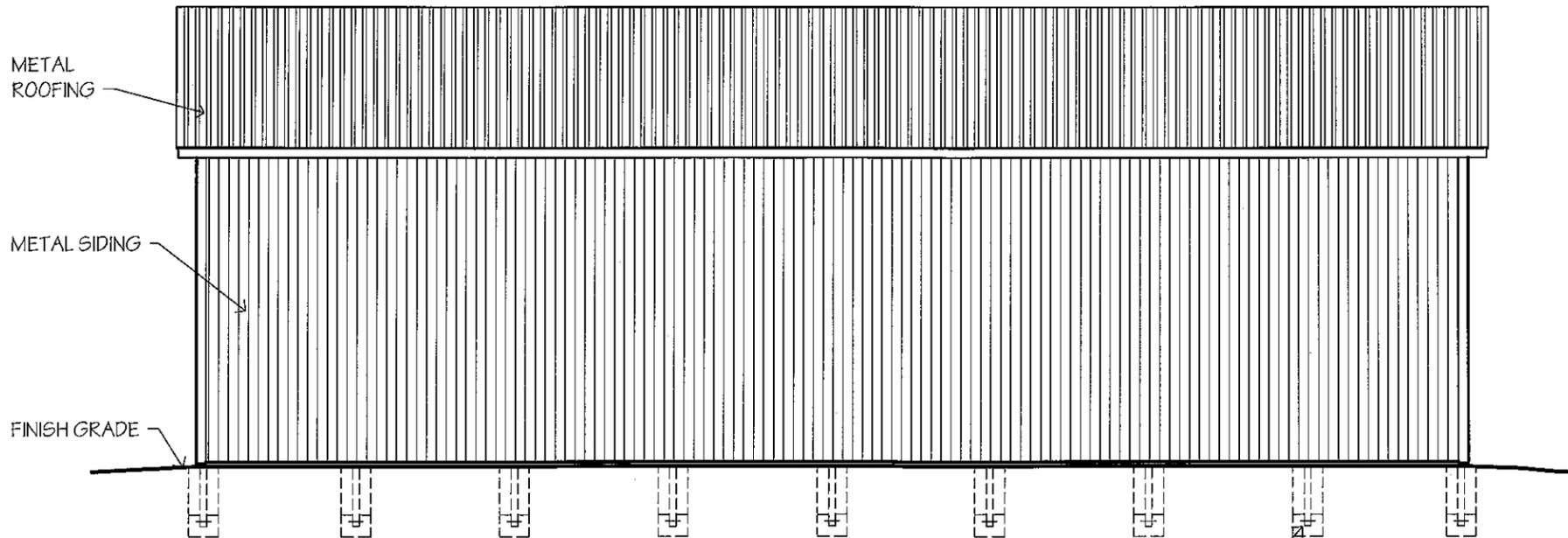
Y:\2012\12-019 Parco Spoth Farm\Final\Elev.dwg, 6/7/2012 10:04:32 AM, Xerox WorkCentre 24 PQ, 6



EAST ELEVATION

SCALE: 1/8" = 1'-0"

1



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

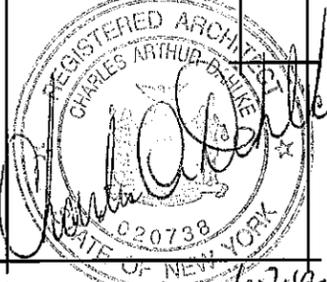
2

PARCO BUILDING SYSTEMS, INC

6140 FIRST STREET, NEWFANE, NY 14108
716-778-8552, FAX 716-778-8961, 1-800-784-4361

cadahllie@cadahllie.com

6701 s. transit road, suite 3, lockport, new york 14094 * 716 - 957 - 9747



PROJECT TITLE / LOCATION SPOTH'S FARM MARKET CLARENCE, NEW YORK	SCALE: AS SHOWN	CONTENTS ON SHEET: SHEET 2 OF 5
	DATE: 6-7-12	CONTENTS ON SHEET: SHEET 2 OF 5

DRAWING NO: A-1	CONTENTS ON SHEET: ELEVATIONS
---------------------------	---

12-049

NOTE: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY.

© 2012, Life by Design

CONVERT GROUND SNOW LOAD TO ROOF SNOW LOAD
 ALL FIGURES, TABLES AND EQUATIONS ARE AS SHOWN IN RCNYS AND ASCE STANDARD 7
 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES)

DETERMINE GROUND SNOW LOAD (P_g) FROM FIGURE R301.2(5)

$P_g = 50 \text{ PSF}$

CALCULATE FLAT ROOF SNOW LOAD (P_f)

$P_f = 0.1 \times C_e \times C_t \times I \times P_g$

$P_f = 0.1 \times 1.0 \times 1.1 \times 0.8 \times 50$

$P_f = 30.8 \text{ PSF}$

C_e = EXPOSURE FACTOR (TABLE 1-2)

$C_e = 1.0$

C_t = THERMAL FACTOR (TABLE 1-3)

$C_t = 1.1$

CALCULATE SLOPED ROOF SNOW LOAD (P_s)

$P_s = C_s P_f$

$P_s = 0.925 \times 30.8$

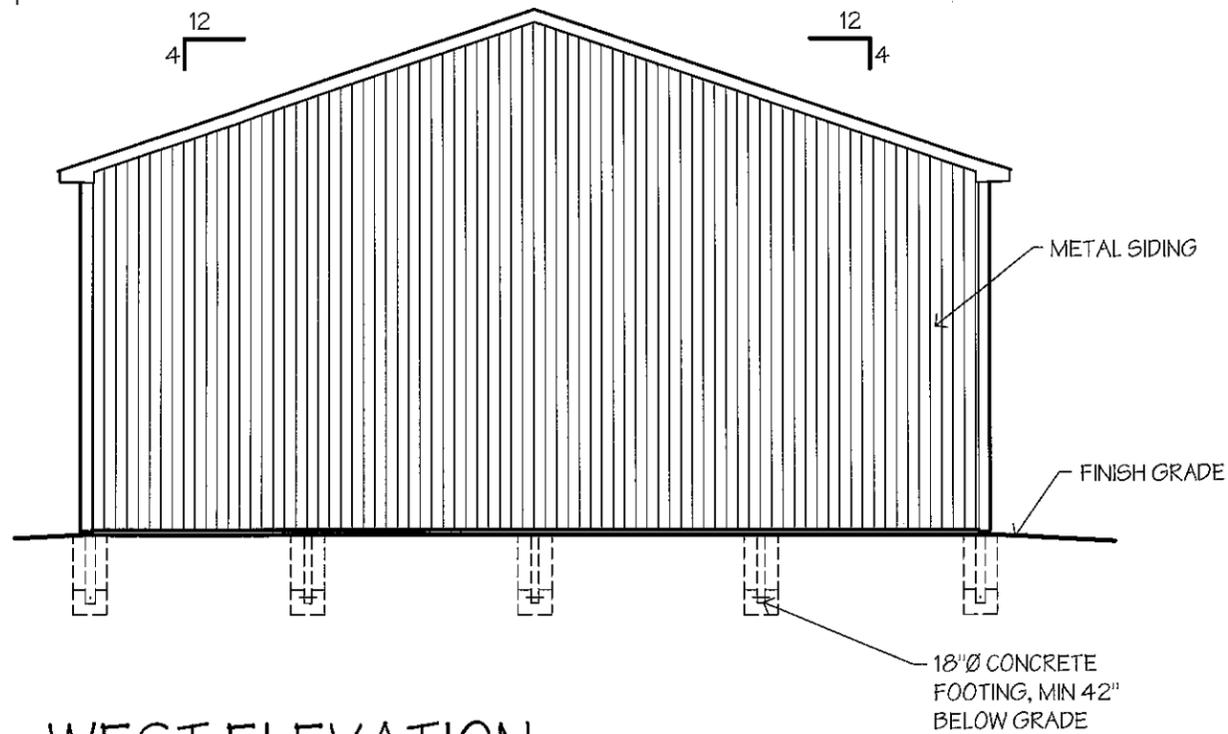
$P_s = 28.49 \text{ PSF}$

I = IMPORTANCE FACTOR (TABLE 1-4)

$I = 0.8$

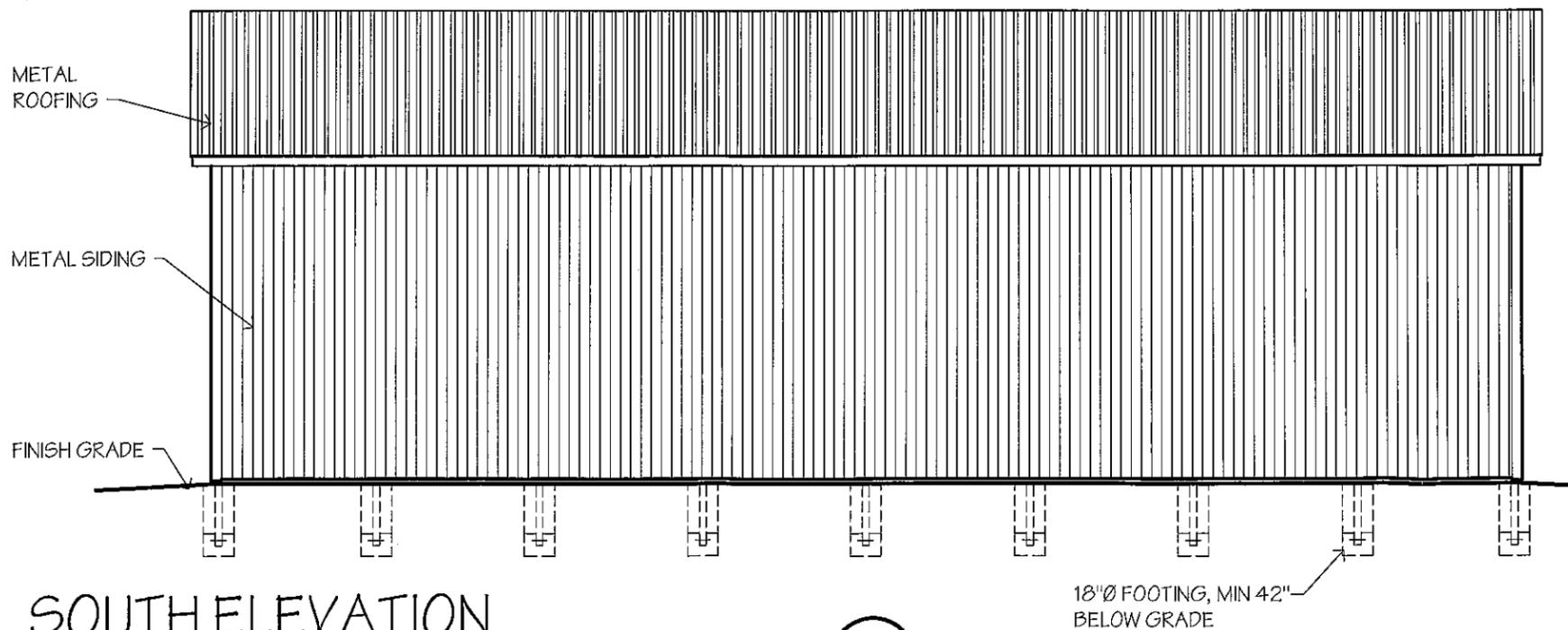
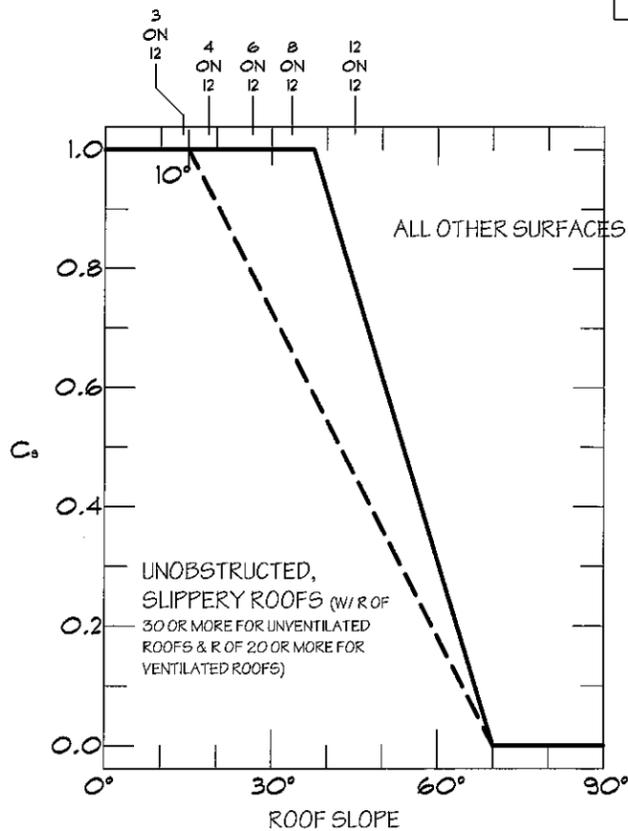
C_s = ROOF SLOPE FACTOR (FIGURE 7-2)

$C_s = 0.925$



WEST ELEVATION

SCALE: 1/8" = 1'-0"

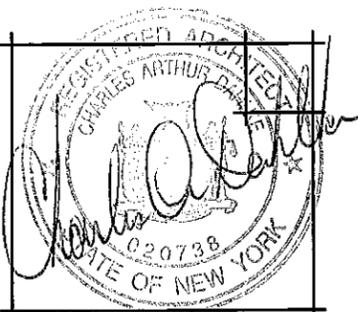


SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

FIGURE 7-2. GRAPHS FOR DETERMINING ROOF SLOPE FACTOR C_s FOR WARM & COLD ROOFS

PARCO BUILDING SYSTEMS, INC
 registered architect * 6701 s. transit road, suite 3, lockport, new york 14094 * 716 - 957 - 9747
 6140 FIRST STREET, NEWFANE, NY 14108
 716-778-8552, FAX 716-778-8961, 1-800-784-4361
 cadahlke@cadahlke.com



PROJECT TITLE / LOCATION: SPOTH'S FARM MARKET CLARENCE, NEW YORK	SCALE: AS SHOWN	DATE: 6-7-12	CONTENTS ON SHEET: SHEET 3 OF 5
	CONTENTS ON SHEET: ELEVATIONS		

DRAWING NO: A-2	12-049
---------------------------	--------

NOTE: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY.

TYPICAL ROOF

- 29 GAGE STEEL ROOFING
- 2 x 4 PURLINS @ 24" O.C.
- WOOD ROOF TRUSSES @ 48" O.C.
(CERTIFIED TRUSS DESIGN BY MANUF, SUBMIT TRUSS DRAWINGS TO BLDG DEPARTMENT PRIOR TO ERECTION)
- METAL DRIP EDGE
- METAL FASCIA ON 2 x 6 NAILER
- METAL SOFFIT
- (2) 2 x 12 HEADER

TYPICAL EXT WALL

- METAL SIDING
- 2 x 4 GIRTS @ 24" O.C.
- 2 x 8 P.T. SKIRT BOARD @ BASE OF POST
- 4 x 6 P.T. POSTS, SPACING AS PER PLANS
- 2 x 6 DIAGONAL BRACING @ CORNERS, TYP

TYPICAL FLOOR

- 4" POURED CONCRETE FLOOR, MIN 3,500 PSI
- 4" COMPACTED SAND FILL

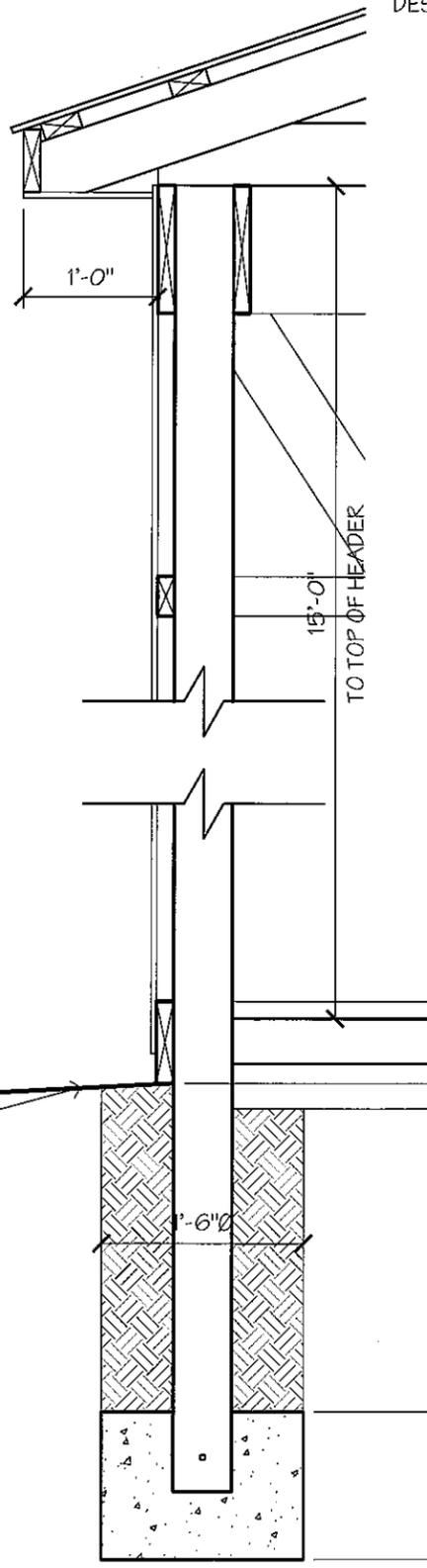
SLOPE GRADE 6" IN FIRST 10'-0" FOR PROPER DRAINAGE FROM BUILDING

TYPICAL POST FOOTING

- 18"Ø x (3) BAGS OF DRY MIX, 5,000 PSI CONCRETE FOOTING, TYP
- 9" x 1/2"Ø STEEL PIN THRU POST
- BACKFILL AS NECESSARY W/ EXCAVATED MATERIALS

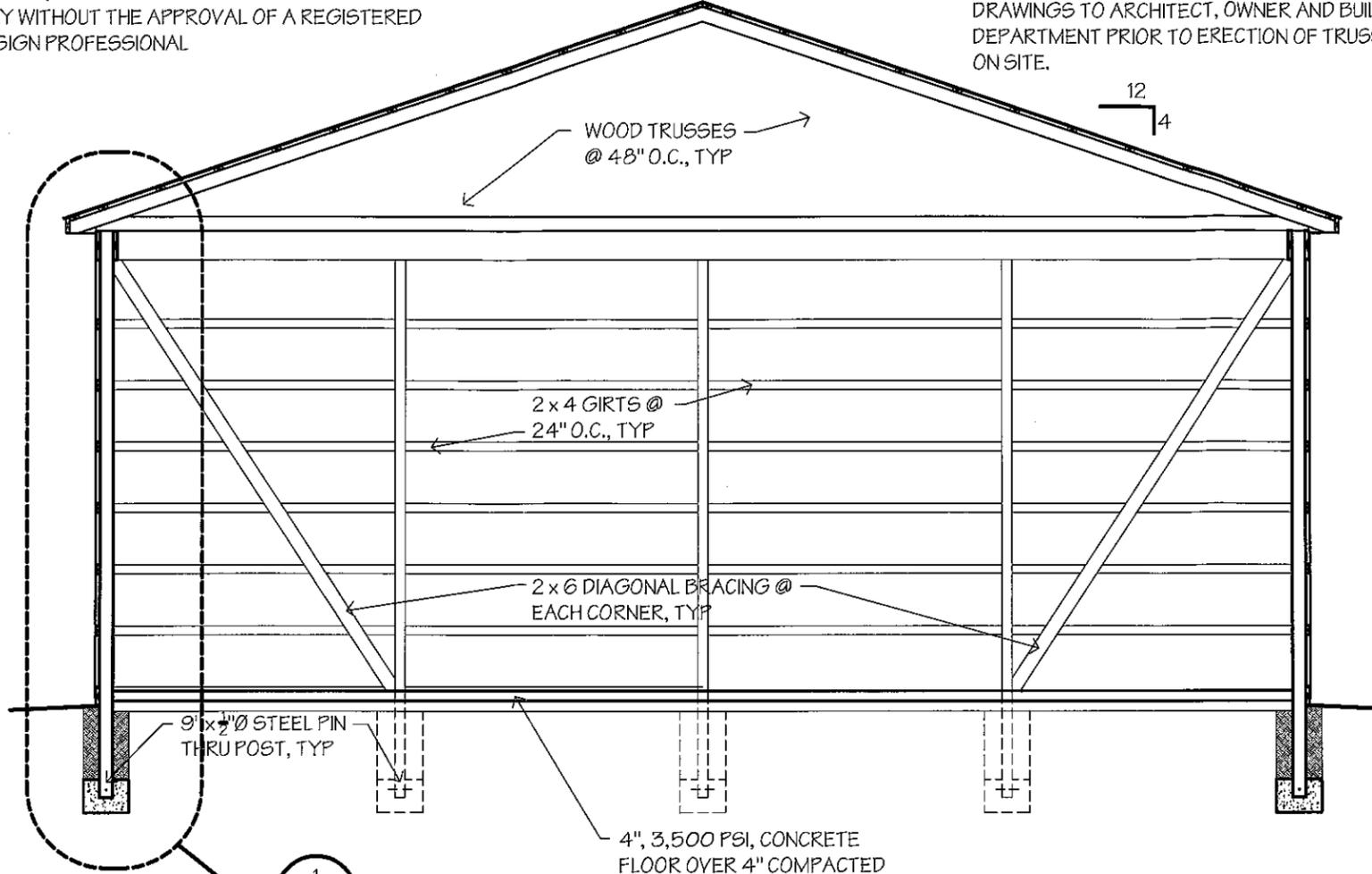
WALL SECTION

SCALE: 3/4" = 1'-0"



TRUSS MEMBERS SHALL NOT BE CUT, NOTCHED, DRILLED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF A REGISTERED DESIGN PROFESSIONAL

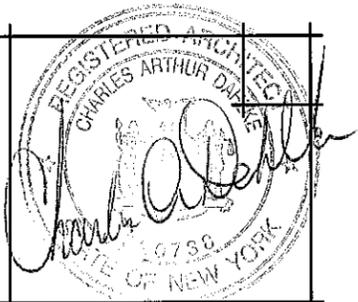
CERTIFIED TRUSS DESIGN BY TRUSS MANUF, PROVIDE ENGINEERED, SEALED TRUSS SHOP DRAWINGS TO ARCHITECT, OWNER AND BUILDING DEPARTMENT PRIOR TO ERECTION OF TRUSSES ON SITE.



BUILDING SECTION

SCALE: 1/4" = 1'-0"

PARCO BUILDING SYSTEMS, INC
 6140 FIRST STREET, NEWFANE, NY 14108
 716-778-8552, FAX 716-778-8961, 1-800-784-4361
 charles a. dahlike, registered architect * 6701 s. transit road, suite 3, lockport, new york 14094 * 716 - 957 - 9747
 cadahlke@cadahlke.com

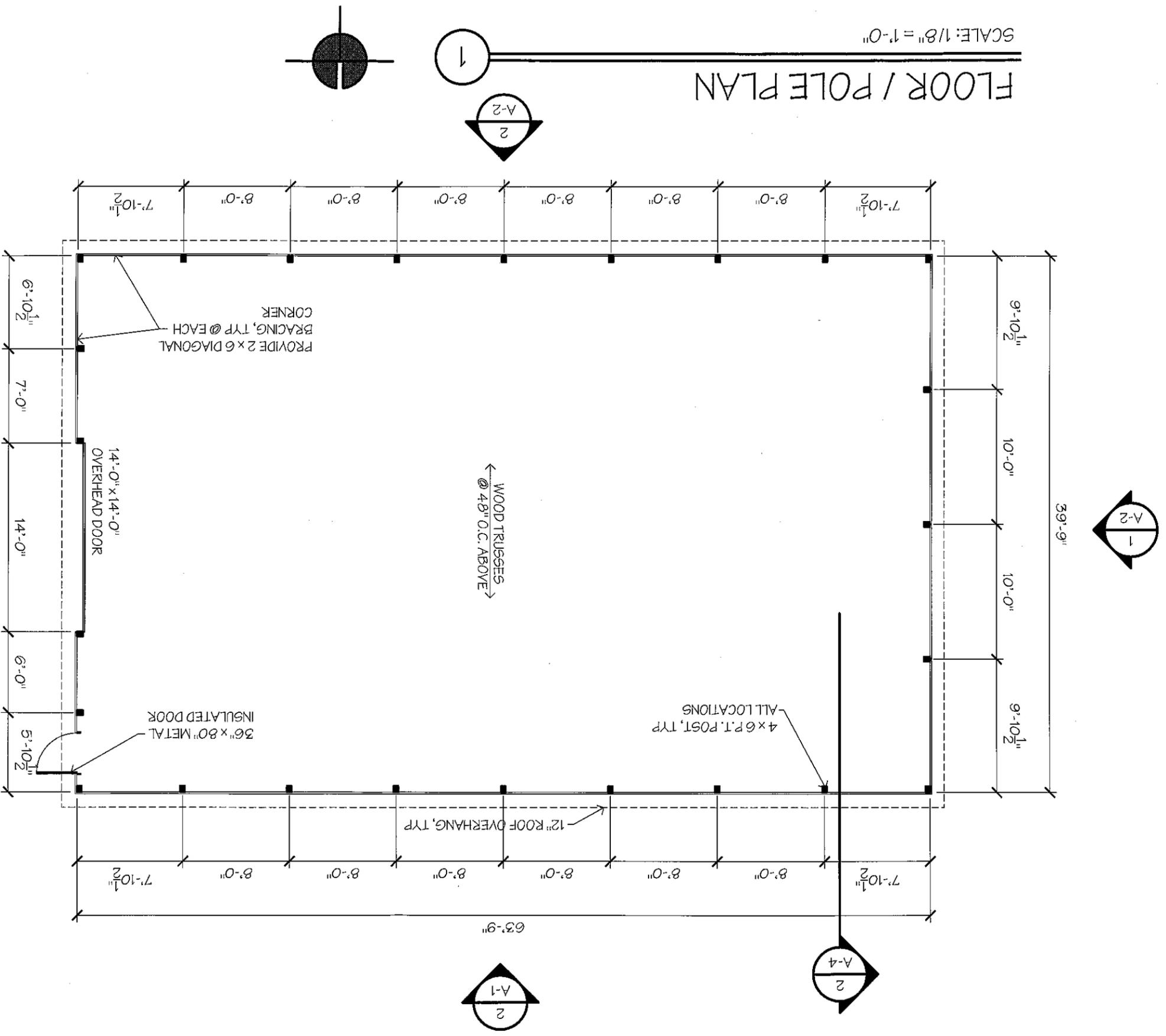


PROJECT TITLE / LOCATION: SPOTH'S FARM MARKET CLARENCE, NEW YORK	SCALE: AS SHOWN	DATE: 6-7-12	CONTENTS ON SHEET: SHEET 5 OF 5
CONTENTS ON SHEET: SECTIONS			

DRAWING NO: A-4	12-049
---------------------------	--------

NOTE: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY.

Y:\2012\12-049 Parco Spoth Farm\Final\Rev.dwg, 6/7/2012, 10:03:46 AM, Xerox WorkCentre 74 PC3, 6



FLOOR / POLE PLAN
SCALE: 1/8" = 1'-0"

PARCO

BUILDING SYSTEMS, INC

Charles a. dahlike,

registered architect * 6701 s transit road, suite 3, lockport, new york 14094

716 - 957 - 9747

cdahlike@cadahlike.com

6140 FIRST STREET, NEWFANE, NY 14108

716-778-8552, FAX 716-778-8961, 1-800-784-4361

PROJECT TITLE / LOCATION:
SPOTH'S FARM MARKET
CLARENCE, NEW YORK

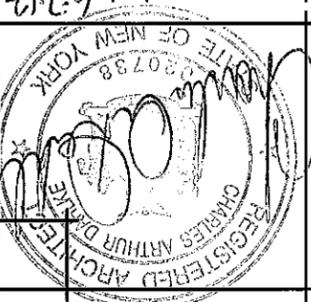
SCALE:
AS SHOWN

Life by Design
designs to build your life on

CONTENTS ON SHEET:
FLOOR / POLE PLAN

DATE:
6-7-12

CONTENTS ON SHEET:
SHEET 4 OF 5

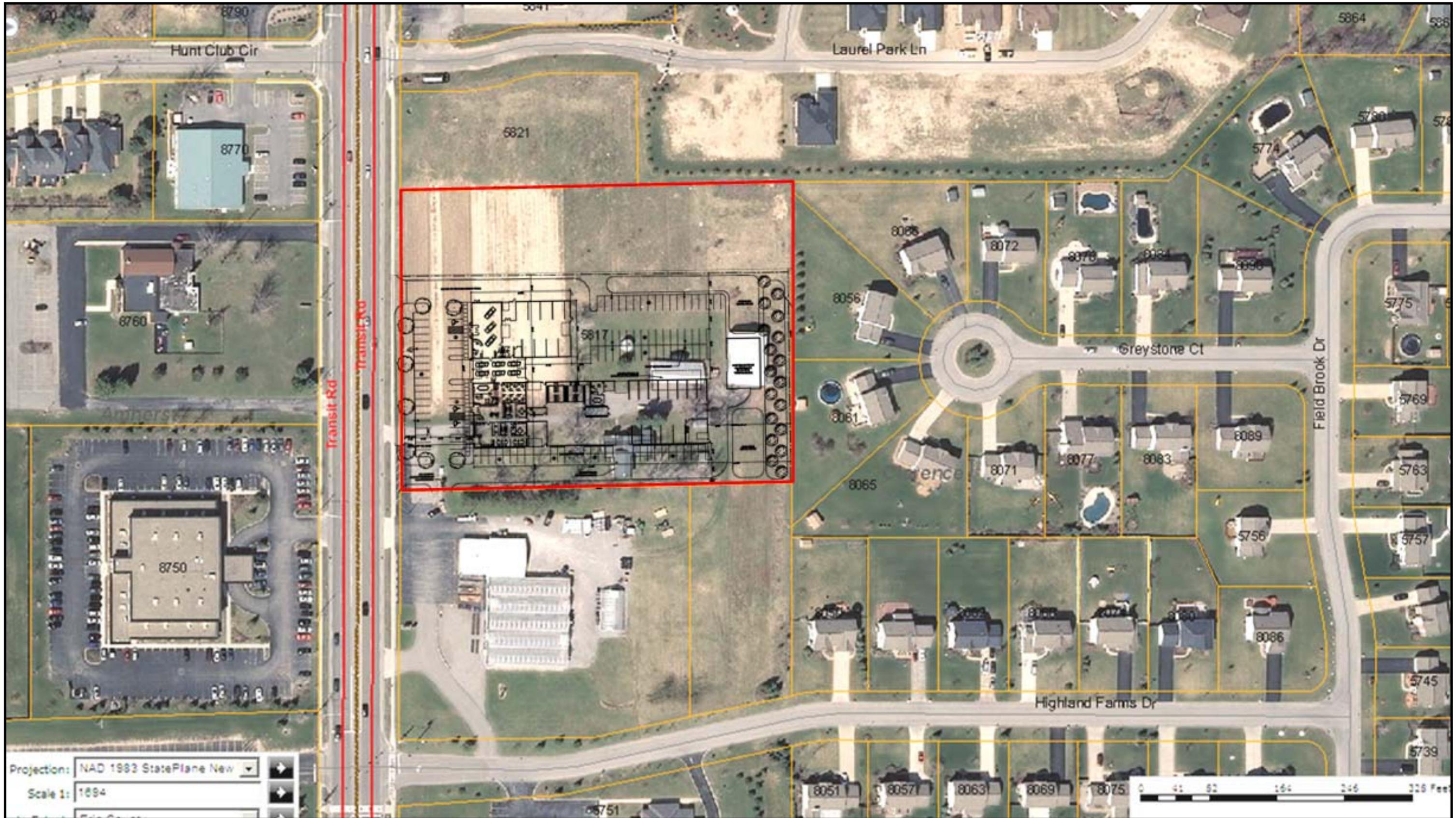


DRAWING NO:
A-3

12-049

© 2012, Life by Design

NOTE: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY.



Projection: NAD 1983 StatePlane New
Scale 1: 1004

0 41 82 164 246 328 Feet



PART 2 - PROJECT IMPACTS AND THEIR MAGNITUDE

Responsibility of Lead Agency

General Information (Read Carefully)

- ! In completing the form the reviewer should be guided by the question: Have my responses and determinations been **reasonable**? The reviewer is not expected to be an expert environmental analyst.
- ! The **Examples** provided are to assist the reviewer by showing types of impacts and wherever possible the threshold of magnitude that would trigger a response in column 2. The examples are generally applicable throughout the State and for most situations. But, for any specific project or site other examples and/or lower thresholds may be appropriate for a Potential Large Impact response, thus requiring evaluation in Part 3.
- ! The impacts of each project, on each site, in each locality, will vary. Therefore, the examples are illustrative and have been offered as guidance. They do not constitute an exhaustive list of impacts and thresholds to answer each question.
- ! The number of examples per question does not indicate the importance of each question.
- ! In identifying impacts, consider long term, short term and cumulative effects.

Instructions (Read carefully)

- a. Answer each of the 20 questions in PART 2. Answer **Yes** if there will be **any** impact.
- b. **Maybe** answers should be considered as **Yes** answers.
- c. If answering **Yes** to a question then check the appropriate box(column 1 or 2)to indicate the potential size of the impact. If impact threshold equals or exceeds any example provided, check column 2. If impact will occur but threshold is lower than example, check column 1.
- d. Identifying that an Impact will be potentially large (column 2) does not mean that it is also necessarily **significant**. Any large impact must be evaluated in PART 3 to determine significance. Identifying an impact in column 2 simply asks that it be looked at further.
- e. If reviewer has doubt about size of the impact then consider the impact as potentially large and proceed to PART 3.
- f. If a potentially large impact checked in column 2 can be mitigated by change(s) in the project to a small to moderate impact, also check the **Yes** box in column 3. A **No** response indicates that such a reduction is not possible. This must be explained in Part 3.

	1	2	3
	Small to Moderate Impact	Potential Large Impact	Can Impact Be Mitigated by Project Change

Impact on Land

1. Will the Proposed Action result in a physical change to the project site?

NO YES

Examples that would apply to column 2

- | | | | | |
|--|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Any construction on slopes of 15% or greater, (15 foot rise per 100 foot of length), or where the general slopes in the project area exceed 10%. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Construction on land where the depth to the water table is less than 3 feet. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Construction of paved parking area for 1,000 or more vehicles. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Construction on land where bedrock is exposed or generally within 3 feet of existing ground surface. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Construction that will continue for more than 1 year or involve more than one phase or stage. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Excavation for mining purposes that would remove more than 1,000 tons of natural material (i.e., rock or soil) per year. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Construction or expansion of a sanitary landfill.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Construction in a designated floodway.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

2. Will there be an effect to any unique or unusual land forms found on the site? (i.e., cliffs, dunes, geological formations, etc.)

NO YES

• Specific land forms:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

Impact on Water

3. Will Proposed Action affect any water body designated as protected? (Under Articles 15, 24, 25 of the Environmental Conservation Law, ECL)

NO YES

Examples that would apply to column 2

• Developable area of site contains a protected water body.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Dredging more than 100 cubic yards of material from channel of a protected stream.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Extension of utility distribution facilities through a protected water body.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Construction in a designated freshwater or tidal wetland.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

4. Will Proposed Action affect any non-protected existing or new body of water?

NO YES

Examples that would apply to column 2

• A 10% increase or decrease in the surface area of any body of water or more than a 10 acre increase or decrease.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Construction of a body of water that exceeds 10 acres of surface area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

1	2	3
Small to Moderate Impact	Potential Large Impact	Can Impact Be Mitigated by Project Change

6. Will Proposed Action alter drainage flow or patterns, or surface water runoff?

NO YES

Examples that would apply to column 2

- | | | | | |
|--|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Proposed Action would change flood water flows | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action may cause substantial erosion. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action is incompatible with existing drainage patterns. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will allow development in a designated floodway. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

IMPACT ON AIR

7. Will Proposed Action affect air quality?

NO YES

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|-------------------------------------|------------------------------|--|
| • Proposed Action will induce 1,000 or more vehicle trips in any given hour. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will result in the incineration of more than 1 ton of refuse per hour. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Emission rate of total contaminants will exceed 5 lbs. per hour or a heat source producing more than 10 million BTU's per hour. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will allow an increase in the amount of land committed to industrial use. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Proposed Action will allow an increase in the density of industrial development within existing industrial areas. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

Unqualified impacts related to air emissions stemming from painting and sanding at the site.

IMPACT ON PLANTS AND ANIMALS

8. Will Proposed Action affect any threatened or endangered species?

NO YES

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Reduction of one or more species listed on the New York or Federal list, using the site, over or near the site, or found on the site. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Removal of any portion of a critical or significant wildlife habitat.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Application of pesticide or herbicide more than twice a year, other than for agricultural purposes.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

9. Will Proposed Action substantially affect non-threatened or non-endangered species?

NO YES

Examples that would apply to column 2

• Proposed Action would substantially interfere with any resident or migratory fish, shellfish or wildlife species.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed Action requires the removal of more than 10 acres of mature forest (over 100 years of age) or other locally important vegetation.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON AGRICULTURAL LAND RESOURCES

10. Will Proposed Action affect agricultural land resources?

NO YES

Examples that would apply to column 2

• The Proposed Action would sever, cross or limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Construction activity would excavate or compact the soil profile of agricultural land.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• The Proposed Action would irreversibly convert more than 10 acres of agricultural land or, if located in an Agricultural District, more than 2.5 acres of agricultural land.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• The Proposed Action would disrupt or prevent installation of agricultural land management systems (e.g., subsurface drain lines, outlet ditches, strip cropping); or create a need for such measures (e.g. cause a farm field to drain poorly due to increased runoff).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON AESTHETIC RESOURCES

11. Will Proposed Action affect aesthetic resources? (If necessary, use the Visual EAF Addendum in Section 617.20, Appendix B.)
 NO YES

Examples that would apply to column 2

• Proposed land uses, or project components obviously different from or in sharp contrast to current surrounding land use patterns, whether man-made or natural.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed land uses, or project components visible to users of aesthetic resources which will eliminate or significantly reduce their enjoyment of the aesthetic qualities of that resource.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Project components that will result in the elimination or significant screening of scenic views known to be important to the area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON HISTORIC AND ARCHAEOLOGICAL RESOURCES

12. Will Proposed Action impact any site or structure of historic, prehistoric or paleontological importance?
 NO YES

Examples that would apply to column 2

• Proposed Action occurring wholly or partially within or substantially contiguous to any facility or site listed on the State or National Register of historic places.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Any impact to an archaeological site or fossil bed located within the project site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed Action will occur in an area designated as sensitive for archaeological sites on the NYS Site Inventory.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

	1	2	3
	Small to Moderate Impact	Potential Large Impact	Can Impact Be Mitigated by Project Change
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

• Other impacts:

IMPACT ON OPEN SPACE AND RECREATION

13. Will proposed Action affect the quantity or quality of existing or future open spaces or recreational opportunities?

NO YES

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • The permanent foreclosure of a future recreational opportunity. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • A major reduction of an open space important to the community. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

IMPACT ON CRITICAL ENVIRONMENTAL AREAS

14. Will Proposed Action impact the exceptional or unique characteristics of a critical environmental area (CEA) established pursuant to subdivision 6NYCRR 617.14(g)?

NO YES

List the environmental characteristics that caused the designation of the CEA.

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Proposed Action to locate within the CEA? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will result in a reduction in the quantity of the resource? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will result in a reduction in the quality of the resource? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will impact the use, function or enjoyment of the resource? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

1	2	3
Small to Moderate Impact	Potential Large Impact	Can Impact Be Mitigated by Project Change

IMPACT ON TRANSPORTATION

15. Will there be an effect to existing transportation systems?

NO YES

Examples that would apply to column 2

- | | | | | |
|--|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Alteration of present patterns of movement of people and/or goods. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will result in major traffic problems. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

IMPACT ON ENERGY

16. Will Proposed Action affect the community's sources of fuel or energy supply?

NO YES

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Proposed Action will cause a greater than 5% increase in the use of any form of energy in the municipality. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two family residences or to serve a major commercial or industrial use. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

NOISE AND ODOR IMPACT

17. Will there be objectionable odors, noise, or vibration as a result of the Proposed Action?

NO YES

Examples that would apply to column 2

- | | | | | |
|--|--------------------------|-------------------------------------|---|-----------------------------|
| • Blasting within 1,500 feet of a hospital, school or other sensitive facility. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Odors will occur routinely (more than one hour per day). | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will produce operating noise exceeding the local ambient noise levels for noise outside of structures. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will remove natural barriers that would act as a noise screen. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Proposed Action will set an important precedent for future projects.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
• Proposed Action will create or eliminate employment.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

20. Is there, or is there likely to be, public controversy related to potential adverse environment impacts?

NO YES

If Any Action in Part 2 Is Identified as a Potential Large Impact or If you Cannot Determine the Magnitude of Impact, Proceed to Part 3

PROPOSED ZONING CODE AMENDMENTS RELATED TO MULTIPLE FAMILY HOUSING DEVELOPMENTS:

Remove the Following Items:

1. Section 229-59. Uses permitted with a Special Exception Use Permit in TND Zone.
(D). Multiple Family Dwellings

2. Section 229-77. Uses permitted with a special exception use permit in Restricted Business Zone.
(2). Multiple Family Dwellings.

3. Section 229-85. Uses Permitted with a special exception use permit in Commercial Zone.
(E). Multiple Family Dwellings.

4. Section 229-93. Uses Permitted with a special exception use permit in the Major Arterial Zone.
(A)(2). Multiple Family Dwellings.

4. Section 229-Attachment I: Schedule I: Use Controls

Traditional Neighborhood District: Remove Multiple Family Dwellings.

Restricted Business District: Remove Multiple Family Dwellings.

Commercial District: Remove Multiple Family Dwellings.

Major Arterial: Remove Multiple Family Dwellings.

Add the Following Items:

1. 229-168 Definitions.

Multiple Family Dwelling Unit (Development)—three or more attached residential units on a lot of record.

2. Article XIV

Overlay District for TND Zone (per attached draft).

Overlay District for Commercial and Restricted Business Zones (per attached draft).

ARTICLE XXXX

Multi-Family Housing Overlay Districts

§ 229-001. Purpose.

- A. These overlay districts are established to promote the orderly development of multi-family residences in a way that is consistent with the underlying zoning classification(s) of the area(s) to be developed.
- B. There are two Multi-Family Overlay regulations:
 - 1) The Traditional Neighborhood (TND) zone overlay encourages uses, consistent with TND principles.
 - 2) The Commercial (C) and Restricted Business (RB) zone overlay allows for larger multi-family uses, and requires a “commercial component”, consistent with the principles of these districts.
- C. Limited use of multi-family development within residential districts (R-SF and A-RR) is addressed in those zoning codes.
- D. Multi-family housing is not allowed in the Major Arterial (MA) zone.

§ 229-002. Traditional Neighborhood Design District (TND).

A. Intent:

Multiple Family Housing within the Traditional Neighborhood District must be designed to a neighborhood village scale and integrated into established traditional neighborhoods. Site designs and architectural standards must be in keeping with existing neighborhood character.

B. Restrictions

- 1) This code is established for those properties within the Traditional Neighborhood District zoning classification only and having three (3) or more housing units, whether attached or detached.
- 2) This use must be located within a sewer district as established by the Town Board.
- 3) The minimum lot size for Multiple Family Developments in the TND is two (2) acres.
- 4) Maximum density shall be 4 units per acre and limited to 16 units total, whether attached or detached
- 5) This overlay shall only be allowed after simple majority approval of the Town Board following recommendation of the Planning Board.

C. Design Standards

- A. Multiple Family Developments within the Traditional Neighborhood District (TND) must provide compatibility with the surrounding neighborhood as to scale, architectural style and connectivity and must be designed in conformance with the Traditional Neighborhood District zoning regulations.
- B. All on-site traffic access roads shall be constructed to standards as approved by the Town. Curb cuts for proposed entrances or exits shall not be closer than one hundred feet (100') to any existing road intersection.
- C. Parking must be visually screened from street view and adjoining properties using landscaping as approved by the Town Landscape Committee.
- D. There shall be provided on the site of such use purposeful connections to existing pedestrian and roadway networks within the surrounding community.
- E. Total lot coverage shall not exceed 75% of the overall lot acreage. Lot coverage shall include all that area that is utilized for building footprints to include principal and accessory structures and all impervious and semi-pervious surfaces to include driveways, parking, patio spaces and pedestrian trails.
- F. No principal building shall contain less than one thousand (1,000) square feet of usable floor space. Buildings used in whole or part for residential purposes, exclusive of accessory buildings and exclusive of porches, entries, garages and terraces, shall contain no less than nine hundred (900) square feet of usable living space if a one-story building used as a one-family dwelling, nor less than six hundred (600) square feet of usable first floor living space if more than one-story, provided that no such building shall contain a total of less than one thousand (1,000) square feet of usable living space if used as a one-family dwelling, and provided further that no such building shall contain a total of less than six hundred (600) square feet of usable living space for each one-bedroom family unit or apartment, seven hundred twenty (720) square feet of usable living space for each two-bedroom family unit or apartment and one thousand (1,000) square feet of usable living space for each three-bedroom family unit or apartment.

§ 229-003. Commercial and Restricted Business Zones (C & RB).

A. Intent

Multiple Family Housing within Commercial and Restricted Business zones is intended to provide more dense residential use while encouraging commercial uses of these properties. This use must be developed as a “mixed use” project in order to promote architectural compatibility with surrounding uses and connectivity to surrounding uses. Features are to include:

- A commercial component.
- Open space.
- Buffering between the development and adjoining neighbors.
- Buffering between denser residential use and the public streets.
- Interconnectivity with adjoining commercial uses.

B. Restrictions

- 1) This code is established for those properties within the Restricted Business and Commercial zoning classifications only and having three (3) or more housing units, whether attached or detached.
- 2) This use must be located within a sewer district as established by the Town Board.
- 3) The minimum lot size for this use shall be five (5) acres.
- 4) This overlay designation shall require that a minimum 25% of the total lot area is devoted to commercial use. Final determination of commercial project site uses and design are subject to the discretion and approval of the Town Board after recommendation of the Planning Board.
- 5) The density of dwelling units shall not be more than twelve (12) units per acre (considering the entire parcel) whether attached or detached.
- 6) There shall be provided on the site of such use purposeful connections to existing pedestrian and roadway networks within the surrounding community.
- 7) This overlay shall only be allowed after simple majority approval of the Town Board following recommendation of the Planning Board.

C. Design Standards

- 1) The maximum density for the multiple-family housing component within a mixed use development is 12 units per acre as calculated utilizing the entire parcel.
- 2) The maximum height for any building shall not exceed 35’.

Draft of Multi-Family Regulations

- 3) The minimum lot size for consideration of this overlay is five (5) acres.
- 4) Connectivity to adjoining land uses must be a part of the overall design of the development and must be compatible with the Town Land Use Access Management Plan.
- 5) All setback, architectural style, accessory structure and lot coverage requirements of the underlying zoning classification must be met.
- 6) All on-site traffic access roads shall be constructed to standards as approved by the Town. Curb cuts for proposed entrances or exits shall not be closer than one hundred feet (100') to any existing road intersection.
- 7) Parking shall be integrated into the overall site design as approved by the Planning Board. Parking must be visually screened from street view and adjoining properties using landscaping as approved by the Town Landscape Committee.
- 8) Parking and structures along a public street right-of-way shall be set back and screened to provide sufficient buffering as approved by the Planning Board and Landscape Committee.
- 9) There shall be provided on the site of such use an area or areas devoted to the recreational use of the residents thereof. Such recreational component can be open space and shall have a total area equal to at least fifteen percent (15%) of the gross land area of the lot and shall be fully maintained by the owner of the dwellings. Part or all of such space shall be in the form of developed recreation areas to be usable for recreational purposes. The 15% dedicated for such use may be counted as a part of the total greenspace requirement for such projects.
- 10) No principal building shall contain less than one thousand (1,000) square feet of usable floor space. Buildings used in whole or part for residential purposes, exclusive of accessory buildings and exclusive of porches, entries, garages and terraces, shall contain no less than nine hundred (900) square feet of usable living space if a one-story building used as a one-family dwelling, nor less than six hundred (600) square feet of usable first floor living space if more than one-story, provided that no such building shall contain a total of less than one thousand (1,000) square feet of usable living space if used as a one-family dwelling, and provided further that no such building shall contain a total of less than six hundred (600) square feet of usable living space for each one-bedroom family unit or apartment, seven hundred twenty (720) square feet of usable living space for each two-bedroom family unit or apartment and one thousand (1,000) square feet of usable living space for each three-bedroom family unit or apartment.

Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I - PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)

1. APPLICANT/SPONSOR Clarence Town Board	2. PROJECT NAME Multiple Family Residential Zoning Overlays
3. PROJECT LOCATION: Municipality <u>Town of Clarence</u> County <u>Erie</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) Specific to the Traditional Neighborhood District, Commercial and Restricted Business Zoning Districts that lie within a Town Board approved Sewer District.	
5. PROPOSED ACTION IS: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input checked="" type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: Adoption of a Zoning Code Amendment to create an Overlay Zone for the Traditional Neighborhood District, commercial and Restricted Business Zoning Classifications to allow for Multiple Family Residential Uses.	
7. AMOUNT OF LAND AFFECTED: Initially <u>n/a</u> acres Ultimately <u>n/a</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency(s) name and permit/approvals:	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency(s) name and permit/approvals:	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Clarence Town Board</u> Date: <u>August 2012</u> Signature: <u>James B. Callahan, Director of Community Development</u>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:
No.

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:
No.

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:
No.

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:
No.

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:
No.

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:
No.

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:
No.

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)?
 Yes No If Yes, explain briefly:

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If Yes, explain briefly:

PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D of Part II was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide, on attachments as necessary, the reasons supporting this determination.

Clarence Town Board

Name of Lead Agency

August 2012

Date

James B. Callahan

Print or Type Name of Responsible Officer in Lead Agency

Director of Community Development

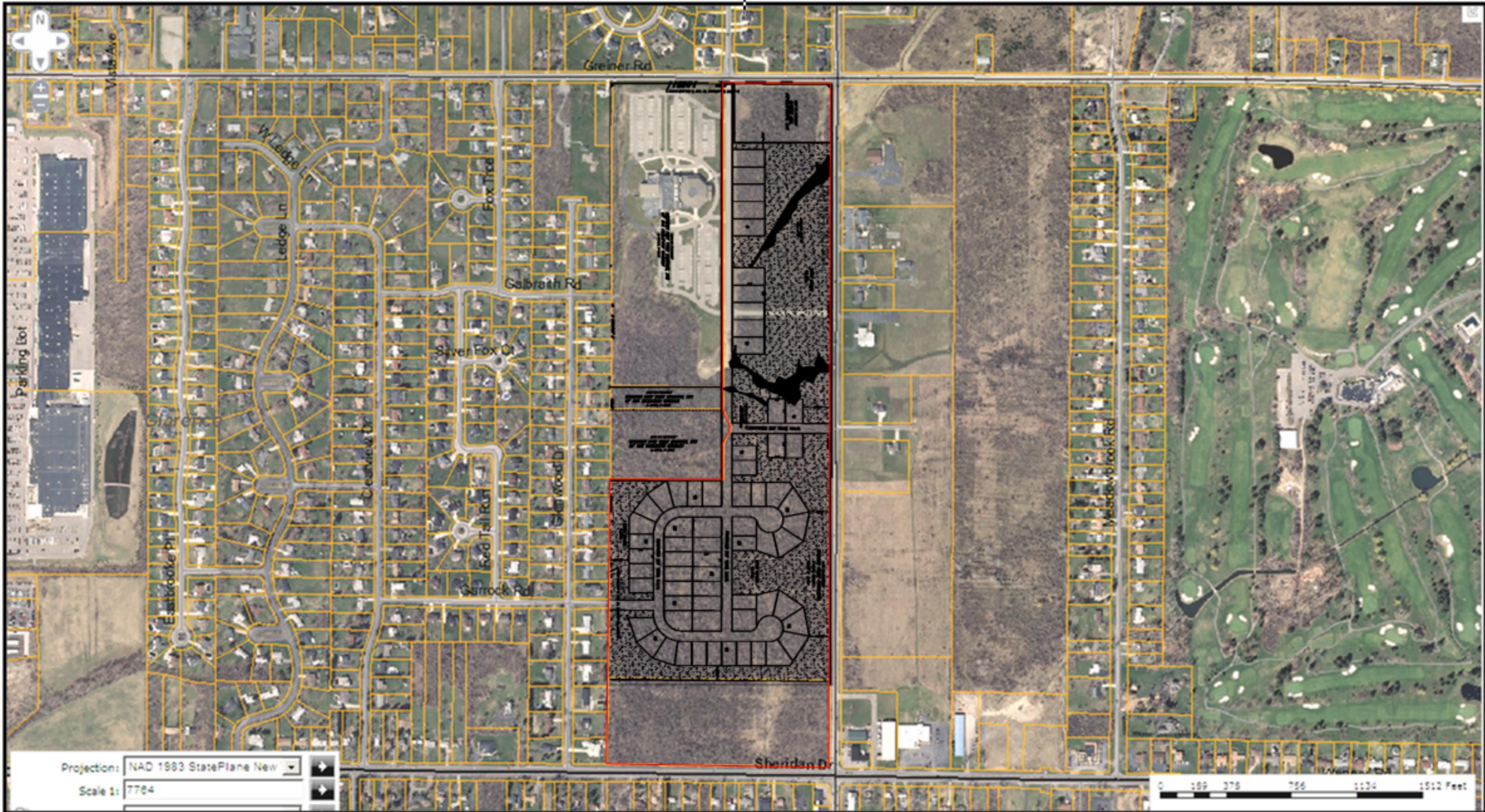
Title of Responsible Officer

J. Callahan

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)





Vista Ave
Parking lot
Eastbrooke Pl
Star Dr
W Ledge Ln
Ledge Ln
Fox Trce
Galbraith Rd
Seven Fox Ct
Red Tail Rd
Garrock Rd
Sheridan Dr

Greiner Rd
Clearview Dr
Greenwood Dr
Ledge Ln
Fox Trce
Galbraith Rd
Seven Fox Ct
Red Tail Rd
Garrock Rd
Sheridan Dr

W Ledge Ln
Ledge Ln
Fox Trce
Galbraith Rd
Seven Fox Ct
Red Tail Rd
Garrock Rd
Sheridan Dr
Ledge to Fox K Rd



Projection: NAD 1983 StatePlane New

Scale 1: 7764

0 169 338 676 1014 1352 Feet

PART 1 - PROJECT INFORMATION [AMENDED]

Prepared by Project Sponsor

NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

NAME OF ACTION Proposed Harris Hill Commons Open Space Design Subdivision			
LOCATION OF ACTION (Include street Address, Municipality and County) 62.73 acres of vacant land located on the west side of Harris Hill Road in between Greiner Road and Sheridan Drive, Town of Clarence, Erie County – The boundaries of the Project Site are depicted on the "Proposed Open Space Design Plan" prepared by Greenman-Pedersen, Inc. attached as Exhibit "A" of this Amended Part 1 of the Long EAF.			
NAME OF APPLICANT/SPONSOR Windsor Ridge Partners c/o Sean Hopkins, Esq.		BUSINESS TELEPHONE (716) 510-4338 [Sean Hopkins, Esq.]	
ADDRESS 5500 Main Street – Suite 100			
CITY/PO Williamsville		STATE NY	ZIP CODE 14221
NAME OF OWNER (if different) Same as Above		BUSINESS TELEPHONE (716) 691-7444	
ADDRESS			
CITY/PO		STATE	ZIP CODE
DESCRIPTION OF ACTION The proposed project ("action") consists of a residential subdivision with 65± lots for detached single-family dwellings as well as required site improvements including but not limited to the proposed infrastructure improvements including, but not limited to the construction of roadways, sanitary sewer lines, water lines and a stormwater management system. The Project Site consists of approximately 62.73 acres of property that was rezoned by the Clarence Town Board to Residential Single Family ("R-SF") pursuant to the recommendations of Town of Clarence Master Plan 2015 (the Town's Comprehensive Plan). A copy of the Concept Plan for the proposed Open Space Design Subdivision is attached as Exhibit "A" and full size copies of the Concept Plan as prepared by GPI Consulting Engineers have also been included with the cover letter accompanying the submission of this Amended Part 1 of the Long EAF. Pursuant to input received from the Town of Clarence in connection with its previous review of the Concept Plan for the proposed project several years ago, the proposed project consists of an Open Space Design Subdivision pursuant to the Town's Open Space Design Development criteria. The proposed project ("action") includes all required discretionary approvals/permits required for the proposed subdivision including but not limited to those required from municipal boards of the Town of Clarence. It is important to mention that this Part 1 of the Long EAF constitutes an amendment of the Part 1 of the Long EAF previously submitted to the Town of Clarence for the proposed Harris Hill Commons Project on June 19, 2006. At that time, the density of the proposed project consisted of 87 residential lots. The density of the project has been reduced by 25.3% as compared to the original Concept Plan submitted to the Town of Clarence more than 6 years ago. On May 12, 2006, the Planning Board issued a letter stating that the allowable density for an Open Space Design Subdivision on the Project Site is 89 lots. A copy of the previously issued density determination letter is attached as Exhibit "C" and the proposed Open Space Design subdivision has a density that is 27% less than allowable per the previously issued density determination. The Town Board previously undertook a coordinated environmental review of the proposed project pursuant to SEQRA. However, the coordinated environmental review process pursuant to SEQRA ceased in late 2006 based on sanitary sewer related concerns raised in a lead agency solicitation response letter issued by the New York State Department of Environmental Conservation ("NYSDEC") on September 25, 2006. The Project Sponsor has worked diligently over the course of the past several years to address concerns during the previous environmental review of the project regarding sanitary sewer capacity. The Project Sponsor contributed funds towards the installation of a weir which resulted in there being adequate sanitary sewer capacity to service the proposed Open Space Design Subdivision. On May 15, 2012, the			

NYSDEC issued a written communication stating that sanitary sewer capacity is available for the proposed project and a copy of this communication has previously been provided to the Town of Clarence.

Since the submission of this Amended Part 1 of the Long EAF represents a continuation of the coordinated environmental review of the proposed project that commenced on June 19, 2006, all documentation previously submitted to the Town of Clarence by the Project Sponsor and its consultants and representatives as well as all written communications received by the Town of Clarence from involved and interested agencies as well as third parties is relevant is part of the record pertaining to the environmental review of the proposed project pursuant to SEQRA..

Please Complete Each Question - Indicate N.A. if not applicable

A. Site Description

Physical setting of overall project, both developed and undeveloped areas.

1. Present land use: Urban Industrial Commercial Residential Rural (non-farm)
 Forest Agriculture Other Vacant Land zoned Residential Single Family ("R-SF")
 pursuant to the Town of Clarence Zoning Map

2. Total acreage of project area: 62.73± ac
 APPROXIMATE ACREAGE

	PRESENTLY		AFTER COMPLETION	
	61.1±	Acres	0	Acres
Meadow or Brushland (non-agricultural)				
Forested	0	Acres	0	acres
Agricultural (Includes orchards, cropland, pasture, etc.)	0	Acres	0	acres
Wetland (Freshwater or tidal as per Articles 24, 25 of ECL)	0	Acres	0	acres
Unvegetated (Rock, rubble, earth or fill)	0	Acres	0	acres
Roads, buildings and other paved surfaces	1.63±	Acres	11.1±	acres
Other (Indicate type) Permanent Open Space, Federal Wetlands and Ponds for Stormwater Management	0	Acres	51.63±	acres
			[Includes 31.43 acres of Permanent Open Space]	

3. What is predominant soil type(s) on project site? Canandaigua Silt Loam [Cc], Cazenovia Silt Loam [CgB], Galen Fine Sandy Loam [GbB], Lakemont Silt Loam [La] and Ovid Silt Loam [OvA] (Source: Erie County Soil Survey)

a. Soil drainage: Well drained ___% of site Moderately well drained 50% of site
 Poorly drained 50% of site per Soil Survey of Erie County, New York

b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? N/A acres. (See 1 NYCRR 370).

4. Are there bedrock outcroppings on project site? Yes No

What is depth to bedrock? >5' (in feet) (Source: Erie County Soil Survey)

5. Approximate percentage of proposed project site with slopes: 0-10% 100 % 10-15% 0 %
 15% or greater 0 %

6. Is project substantially contiguous to, or contain a building, site, or district, listed on the State or the National Registers of Historic Places? Yes No (Source: Correspondence issued by Ruth Pierpont of the New York State Office of Parks, Recreation and Historic Preservation dated November 11, 1998. A copy of this clearance letter is attached as Exhibit "D").

7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? Yes No

8. What is the depth of the water table? >5' (in feet) (Source: Erie County Soil Survey).

9. Is site located over a primary, principal, or sole source aquifer? Yes No

10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? Yes No

11. Does project site contain any species of plant or animal life that is identified as threatened or endangered?
 Yes No According to Correspondence issued by the NYSDEC in connection with environmental review of proposed project pursuant to SEQRA did not express any concerns regarding impacts to species of plant or animal life that is identified as threatened or endangered.

Identify each species _____

12. Are there any unique or unusual land forms on the project site? (i.e., cliffs, dunes, or other geological formations)

Yes No

Describe _____

13 Is the project site presently used by the community or neighborhood as an open space or recreation area?

Yes No If yes, explain _____

14 Does the present site include scenic views known to be important to the community?

Yes No

15. Streams within or contiguous to project area: N/A

a. Name of Stream and name of River to which it is tributary _____

16. Lakes, ponds, wetland areas within or contiguous to project area:

a. Name 2 Federal Wetlands [not named] b. Size (In acres) 1.87± Acres (The location of the 3 wetland areas on the Project Site is depicted on the Survey of the Project Site attached as Exhibit "B" The Project Sponsor is only proposing .0097 acres of impacts to federal wetlands and as such the potential impacts to federal wetlands has been minimized to the maximum extent practicable)

17. Is the site served by existing public utilities? Yes No

a) If Yes, does sufficient capacity exist to allow connection Yes No

b) If Yes, will improvements be necessary to allow connection? Yes No Private connections to public utilities will be provided on the Project Site.

18. Is the site located in an agricultural district certified pursuant to Agricultural and Markets Law, Article 25-AA, Section 303 and 304? Yes No

19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? Yes No

20. Has the site ever been used for the disposal of solid or hazardous wastes? Yes No

B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate)

a. Total contiguous acreage owned or controlled by project sponsor 62.73± acres.

b. Project acreage to be developed: 31.3± acres initially; 31.3± acres ultimately (Note: 31.43± acres of the Project Site will be preserved as Permanent Open Space).

c. Project acreage to remain undeveloped: 31.43± acres.

d. Length of project, in miles: N/A (If appropriate)

e. If the project is an expansion, indicate percent of expansion proposed 0%.

f. Number of off-street parking spaces existing 0; proposed 207±.

g. Maximum vehicular trips generated per hour 52± (upon completion of project)? (During the P.M. peak travel hour occurring on weekdays between 4:00 and 6:00 p.m.)

h. If residential: Number and type of housing units:

	One Family	Two Family	Multiple Family	Condominium
Initially	<u>65±</u>	_____	_____	_____
Ultimately	_____	_____	_____	_____

i. Dimensions (in feet) of largest proposed structure 35'± height; 60' width; 50' length.

j. Linear feet of frontage along a public thoroughfare project will occupy is? 3187'± ft.

2. How much natural material (i.e., rock, earth, etc.) will be removed from the site? 0 tons/cubic yards

3. Will disturbed areas be reclaimed? Yes No N/A

a. If yes, for what intended purpose is the site being reclaimed? Landscaping and related site improvements

b. Will topsoil be stockpiled for reclamation? Yes No

c. Will upper subsoil be stockpiled for reclamation? Yes No

4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 31.3± acres. (Includes roadways, infrastructure and the proposed 69 residential lots)

5. Will any mature forest (over 100 years old) or other locally-important vegetation be removed by this project:

Yes No

6. If single phase project: Anticipated period of construction N/A months; (including demolition)

7. If multi-phased:

a. Total number of phases anticipated 3 or greater (number).

b. Anticipated date of commencement phase Fall month 2012 year, (including demolition).

c. Approximate completion date of final phase Summer/Fall month 2016 year. (The timing of the build-out of the proposed Open Space Design Subdivision including the necessary infrastructure improvements and detached single family homes on individual lots will be dependent on market conditions. Site infrastructure including roadways and related improvements might be installed in a single phase and the decision regarding phasing of infrastructure will be based on a wide range of factors including market conditions and infrastructure costs).

d. Is phase 1 functionally dependent on subsequent phases? Yes No

8. Will blasting occur during construction? Yes No

9. Number of jobs generated: during construction 30-40±; after project is complete 1-2±.

10. Number of jobs eliminated by this project 0.

11. Will project require relocation of any projects or facilities? Yes No If yes, explain _____

12. Is surface liquid waste disposal involved? Yes No

a. If yes, indicate type of waste (sewage, industrial, etc.) and amount Sanitary sewage – 22,000± gallons per day

b. Name of water body into which effluent will be discharged Tonawanda Creek to the Niagara River via discharge from the Town of Amherst Wastewater Treatment Plan on Tonawanda Creek Road

13. Is subsurface liquid waste disposal involved? Yes No Type _____

14. Will surface area of an existing water body increase or decrease by proposal? Yes No

Explain _____

15. Is project or any portion of project located in a 100 year flood plain? Yes No

16. Will the project generate solid waste? Yes No

a. If yes, what is the amount per month 18-19 tons

b. If yes, will an existing solid waste facility be used? Yes No

c. If yes, give name NYSDEC approved facility Location Unknown

d. Will any wastes **not** go into a sewage disposal system or into a sanitary landfill? Yes No

e. If Yes, explain _____

17. Will the project involve the disposal of solid waste? Yes No

a. If yes, what is the anticipated rate of disposal? _____ tons/month.

b. If yes, what is the anticipated site life? _____ years.

18. Will project use herbicides or pesticides? Yes No

19. Will project routinely produce odors (more than one hour per day)? Yes No

20. Will project produce operating noise exceeding the local ambient noise levels? Yes No

21. Will project result in an increase in energy use? Yes No

If yes, indicate type(s) Electricity and natural gas

22. If water supply is from wells, indicate pumping capacity N/A gallons/minute

23. Total anticipated water usage per day 36,000± gallons/day.

24. Does project involve Local, State, or Federal Funding? Yes No

If yes, explain _____

25. Approvals Required:

	Type	Submittal Date
City, Town, Village Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Concept Plan Approval for May 25, 2012

Proposed Open Space Design Development Subdivision [The submission made on 05/25/12 was an amendment of previous submissions] [Note: The Applicant may seek area variance relief from the Town Board per the Subdivision Regulations.]

City, Town, Village Planning Board	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Development Plan Approval	To be Determined
City, Town Zoning Board	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No		
City, County Health Department	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Sanitary sewer and public water connections – Erie County	To be Determined
Other Local Agencies	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Building Permits – Town of Clarence Building Department and Highway Work Permit – Town of Clarence	To be Determined
Other Regional Agencies	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Extension of district boundary for Erie County Sanitary Sewer District #5 – Erie County Legislature	To be Determined [the Project Sponsor has requested]
State Agencies	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Water Quality Certification – NYSDEC	To be Determined
Federal Agencies	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No		

C. Zoning and Planning Information

- Does proposed action involve a planning or zoning decision? Yes No
 If Yes, indicate decision required:
 zoning amendment zoning variance special use permit subdivision site plan
 new/revision of master plan resource management plan other
- What is the zoning classification(s) of the site? Residential Single Family ("R-SF")
- What is the maximum potential development of the site if developed as permitted by the existing zoning?
 The maximum potential development of the Project Site pursuant to the existing R-SF zoning classification consists of a subdivision with lots with a minimum size of 20,000 sq. ft. The Project Sponsor previously submitted an "As of Right Concept Plan" for the Project Site as required for a density determination to be issued for an Open Space Design Subdivision. On May 12, 2006, the Clarence Planning Board issued a density determination letter stating as follows: "The density yield for the proposed Open Space Design Development ... is approved at 89 lots, preserving 50% of the project site as open space." A copy of the density determination letter issued on May 12, 2006 is attached as Exhibit "C". If the Project Site was developed as residential lots with a minimum size of 20,000 sq. ft. as permitted by the existing R-SF zoning classification the Project Sponsor would not be required to preserve 50% of the Project Site as permanent open space and as such an "as of right" layout would result in adverse impacts that will not occur based on development of the Project Site as an Open Space Design Subdivision.
- What is the proposed zoning of the site? The Project Sponsor is not proposing to amend the zoning classification of the Project Site
- What is the maximum potential development of the site if developed as permitted by the proposed zoning?
See Answer to Question C3 above
- Is the proposed action consistent with the recommended uses in adopted local land use plans? Yes No
 (Note: The proposed development of the Project Site as a residential subdivision is consistent with the recommended land use per Town of Clarence Master Plan 2015
- What are the predominant land use(s) and zoning classifications within a ¼ mile radius of proposed action?
 The predominant land uses in the vicinity of the Project Site consist of a church and related improvements on the property directly west of the Project Site, a residential subdivision directly the west of the Project Site, a mixture of commercial and residential uses on the east side of Harris Hill Road and along Sheridan Drive and homes on individual lots in close proximity to the Project Site. The predominant zoning classifications of properties in the vicinity of the Project Site are R-SF and Commercial.
- Is the proposed action compatible with adjoining/surrounding land uses within a ¼ mile? Yes No

9. If the proposed action is the subdivision of land, how many lots are proposed? 65±
a. What is the minimum lot size proposed? 11,900± sq. ft.

10. Will proposed action require any authorization(s) for the formation of sewer or water districts? Yes No

Note: The Project Sponsor has requested that the boundaries of ECSD #5 be extended to include the Project Site.

11. Will the proposed action create a demand for any community provided services (recreation, education, police, fire protection)? Yes – The proposed action will increase the demand for community services. .
a. If yes, is existing capacity sufficient to handle projected demand? Yes No

12. Will the proposed action result in the generation of traffic significantly above present levels?

Yes No

b. If yes, is the existing road network adequate to handle the additional traffic?

D. Informational Details

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

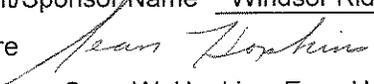
The Project Sponsor has submitted various reports and studies to assist involved and interested agencies in evaluating the potential adverse environmental impacts associated with the proposed project ("action") pursuant to the State Environmental Quality Review Act and its implementing regulations as promulgated by the NYSDEC (collectively "SEQRA"). Based on input previously provided by the Town of Clarence, the Project Sponsor has proposed an Open Space Design Subdivision and this will result in slightly more than 50% of the Project Site being as Permanent Open Space. It is the Project Sponsor's opinion: 1.) that issues previously raised regarding the availability of sanitary sewer capacity for the development of the Project Site have been addressed and 2.) the inclusion of the Project Site in a sanitary sewer district is consistent with the recommendations of Master Plan 2015.

Based on the results of an updated wetland delineation conducted by Wilson Environmental Technologies, the layout has been modified such that the proposed layout will only result in impacts to less than 1/10th of an acre of federal wetlands on the Project Site.

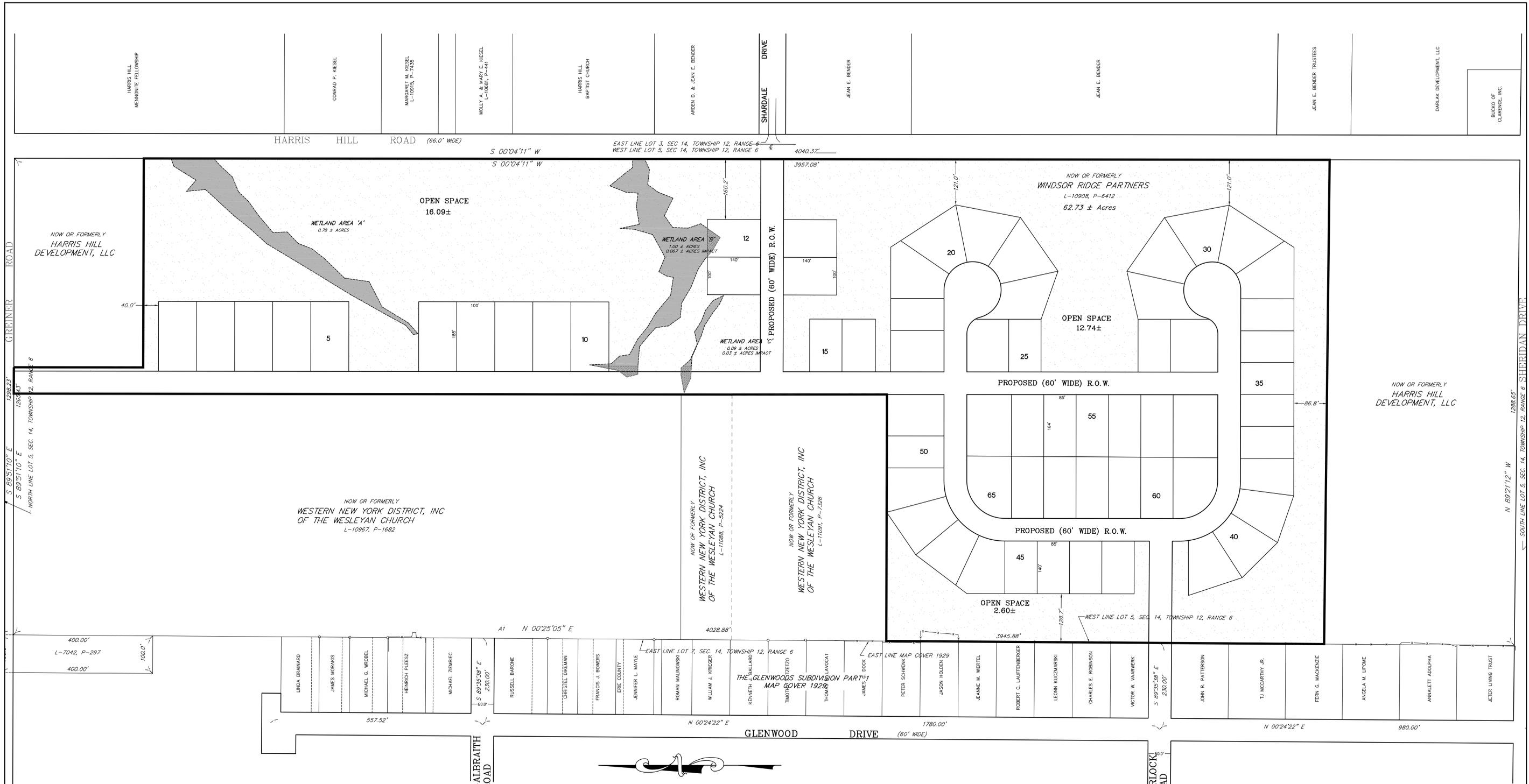
E. Verification

I certify that the information provided above is true to the best of my knowledge.

Applicant/Sponsor Name Windsor Ridge Partners Date 07/26/12

Signature  Title Attorney for Applicant/Project Sponsor – Tel: 716.510-4338
Sean W. Hopkins, Esq., Hopkins & Sorgi, PLLC

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.



ALLOWABLE NUMBER OF LOTS

62.73± acres
- 0± acres [public utilities, recorded easements, etc. as per S4.3-B6(i)]
62.73± acres
62.73± acres
- 0.6± acres [wetland as per S4.3-B6(ii)]
62.13± acres
62.13± acres
- 0± acres [unusable/unfavorable land as per S4.3-B6(iii)]
62.13± acres
62.13± acres
x 10% [land for public streets as per S4.3-B6(iv)]
6.21± acres
62.13± acres
- 6.21± acres [as per S4.3-B6(iv)]
55.92± acres

OPEN SPACE

62.73± acres
x 50% (open space requirement)
31.4± acres

SITE DATA

EXISTING ZONING: RESIDENTIAL SINGLE FAMILY W/ OSDD
 AREA: 62.73± acres
 NUMBER OF LOTS PROPOSED: 65±
 MINIMUM LOT SIZE: 11,900 sq.ft.
 REQUIRED OPEN SPACE IN R-SF: 31.4± acres (50%)
 PROPOSED OPEN SPACE IN R-SF: 31.43 acres (50%)
WETLANDS ON-SITE: 1.87± acres
PROPOSED WETLAND IMPACT: 0.097± acres

SOILS

Cc	Canandaigua Silt Loam
CgB	Cazenovia silt loam, 3-8% slopes
GbB	Galen fine sandy loam 3-8% slopes
La	Lakemont Silt Loam
Ova	Ovid Silt Loam

Town of Clarence
 ERIE COUNTY NEW YORK
 TOWN JOB NO.: _____

APPROVED BY: _____
 TOWN ENGINEER DATE: _____

APPROVED BY: _____
 SUPERINTENDENT OF HIGHWAYS DATE: _____

REVISION _____ DATE _____ BY _____

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209 PARAGRAPH 2 OF THE NEW YORK STATE EDUCATION LAW.

Harris Hill Commons Subdivision
Proposed Open Space Design Plan

GPI GREENMAN-PEDERSEN, INC.
 CONSULTING ENGINEERS
 ENGINEERING • SURVEYING • PLANNING
 8800 SHILOH STREET SUITE 100 BUFFALO, NY 14228
 (716) 633-8844 FAX (716) 633-6943

DRAWN: _____ JOB NO.: 2004111 SHEET NO.: _____
 CHECKED: _____ DATE: JULY 2012
 APPROVED: _____ SCALE: 1"=100'