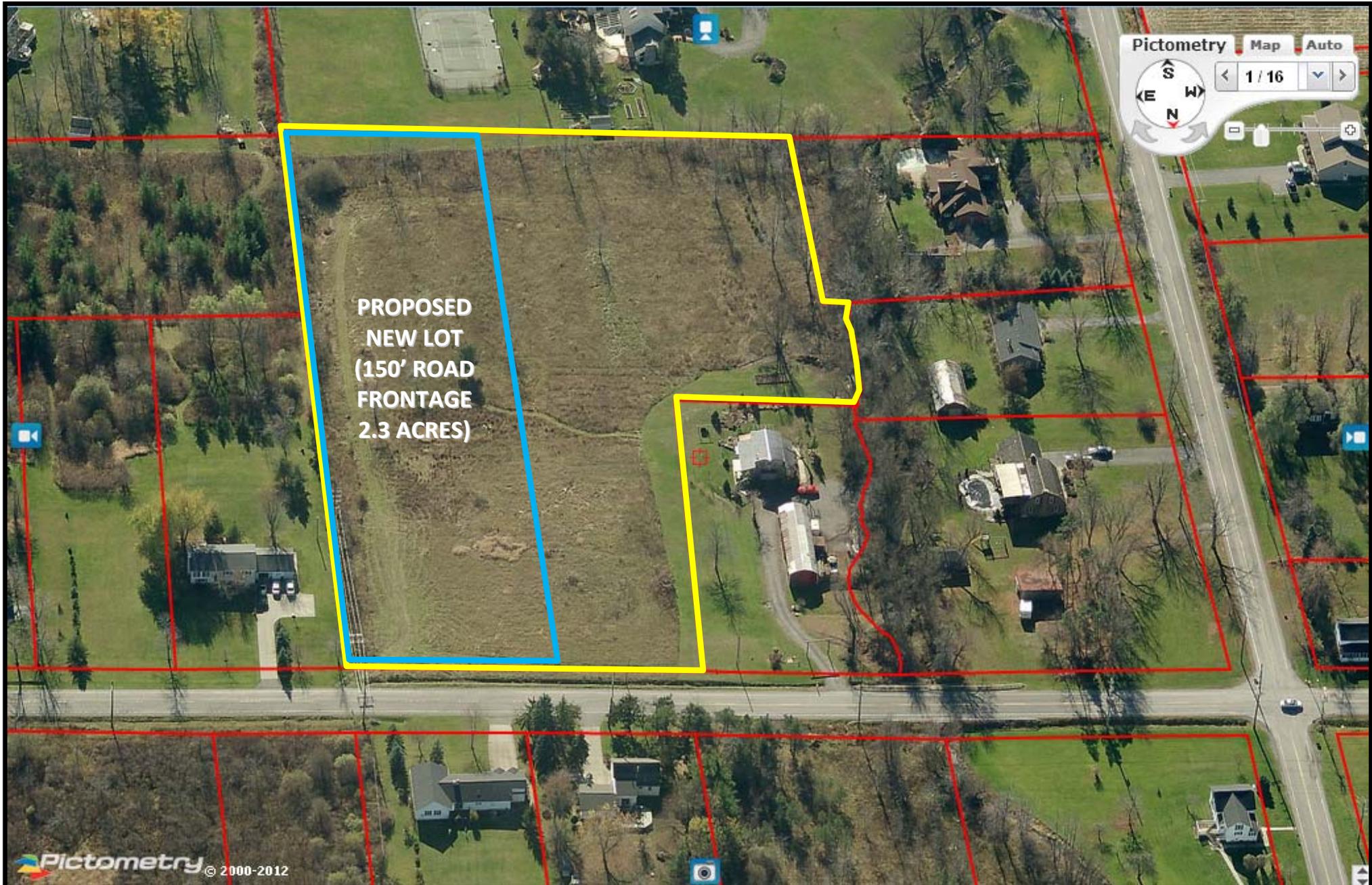
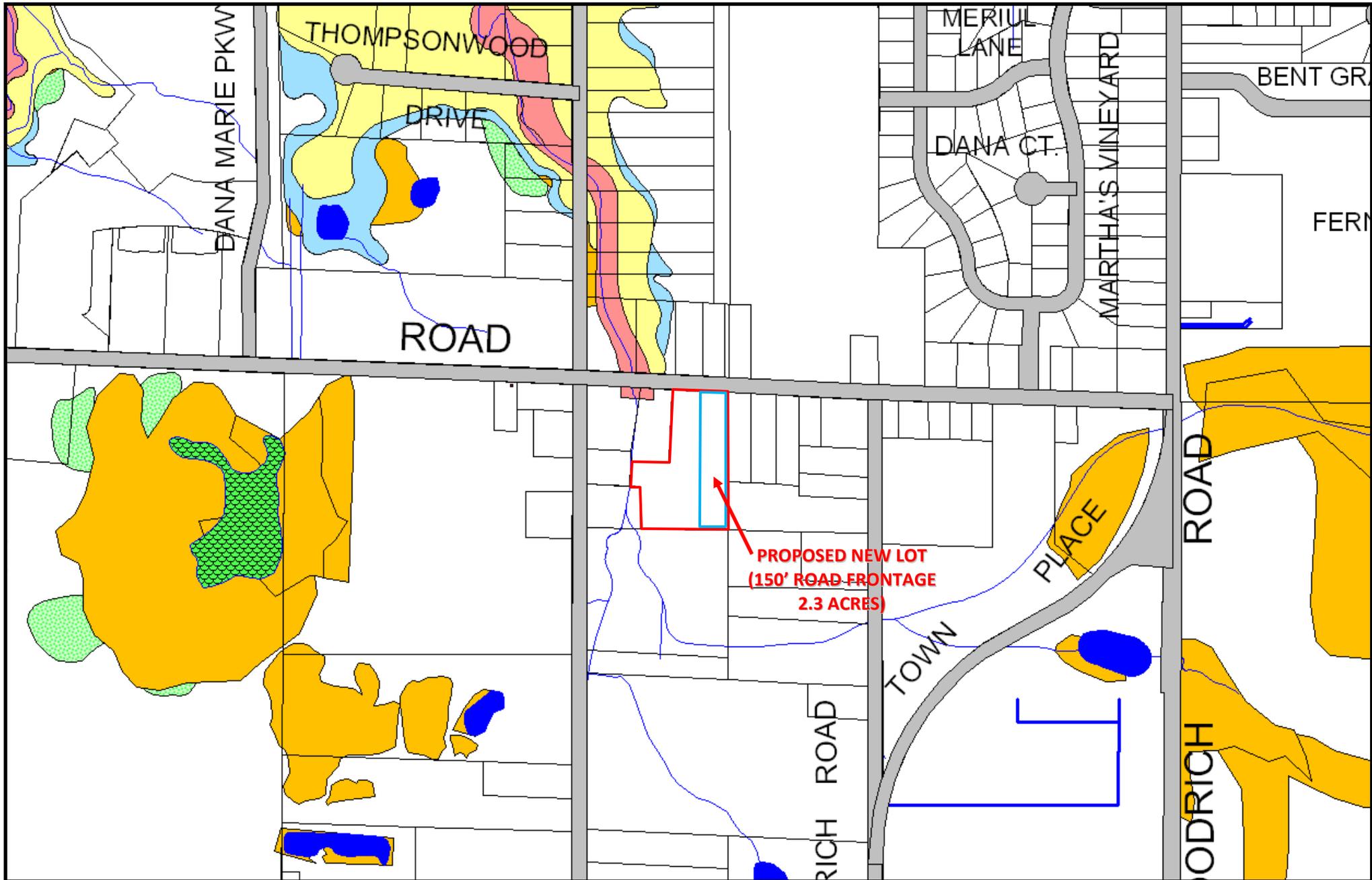


# AERIAL MAP



# FLOODPLAIN/WETLAND MAP



**Appendix C**  
**State Environmental Quality Review**  
**SHORT ENVIRONMENTAL ASSESSMENT FORM**  
**For UNLISTED ACTIONS Only**

**PART I - PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)**

1. APPLICANT/SPONSOR Carl Binner	2. PROJECT NAME Binner Minor Subdivision
3. PROJECT LOCATION: Municipality <u>Town of Clarence</u> County <u>Erie</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>9265-9275 Roll Road</u>	
5. PROPOSED ACTION IS: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input checked="" type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <u>Split of existing residential lot to create an additional residential lot in the Residential Single-Family Zone in an unsewered area.</u>	
7. AMOUNT OF LAND AFFECTED: Initially <u>4.92</u> acres    Ultimately <u>4.92</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No    If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    If Yes, list agency(s) name and permit/approvals:	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    If Yes, list agency(s) name and permit/approvals:	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>Carl Binner</u>	Date: <u>August 2012</u>
Signature: <u>Jerry Haas, Agent</u>	

**If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment**



**PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)**

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF.  
 Yes  No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.  
 Yes  No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:  
 No.

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:  
 No.

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:  
 No.

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:  
 No.

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:  
 No.

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:  
 No.

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:  
 No.

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)?  
 Yes  No If Yes, explain briefly:

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?  
 Yes  No If Yes, explain briefly:

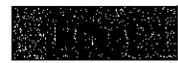
**PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)**

**INSTRUCTIONS:** For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D of Part II was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

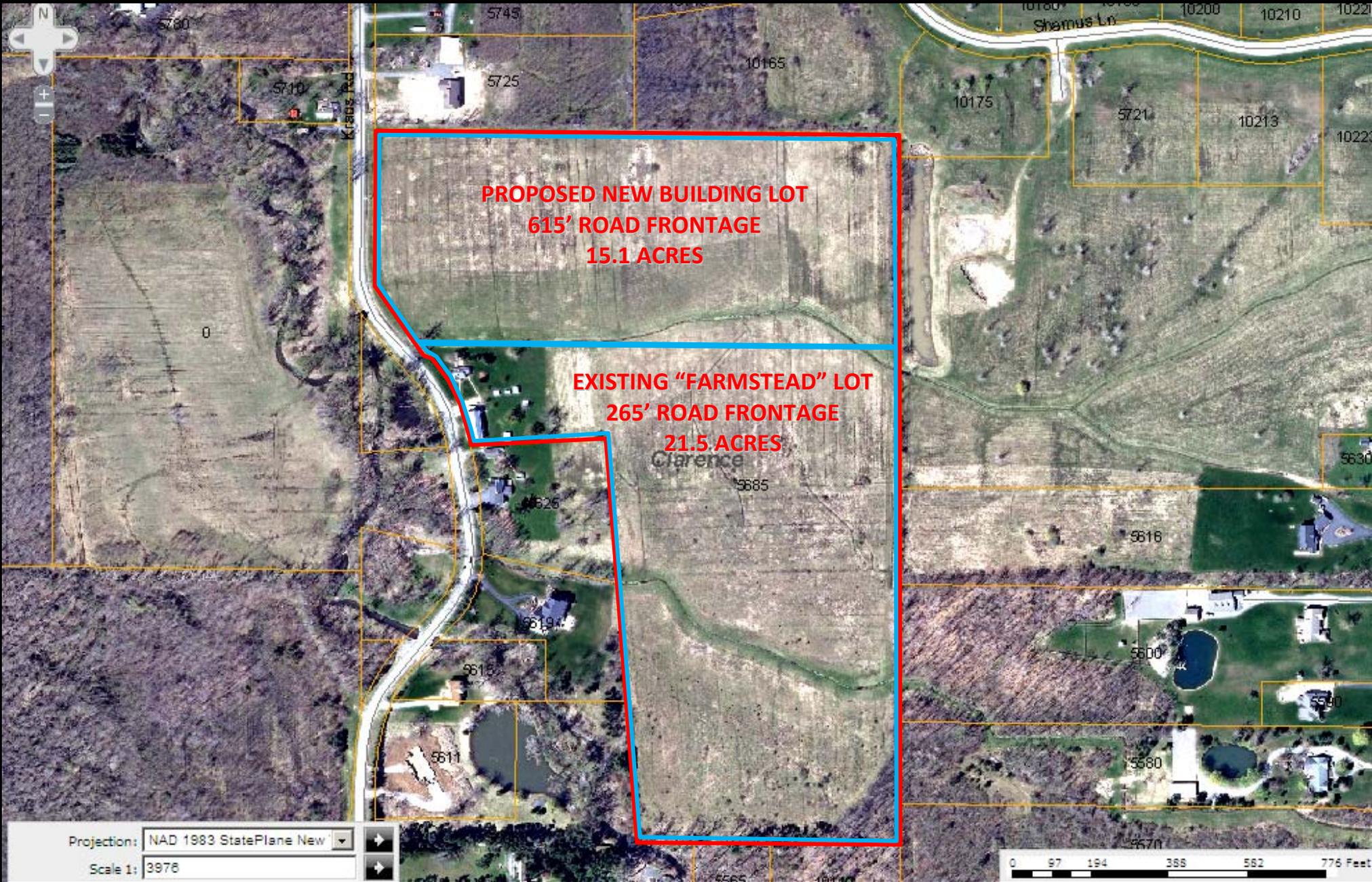
Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide, on attachments as necessary, the reasons supporting this determination.

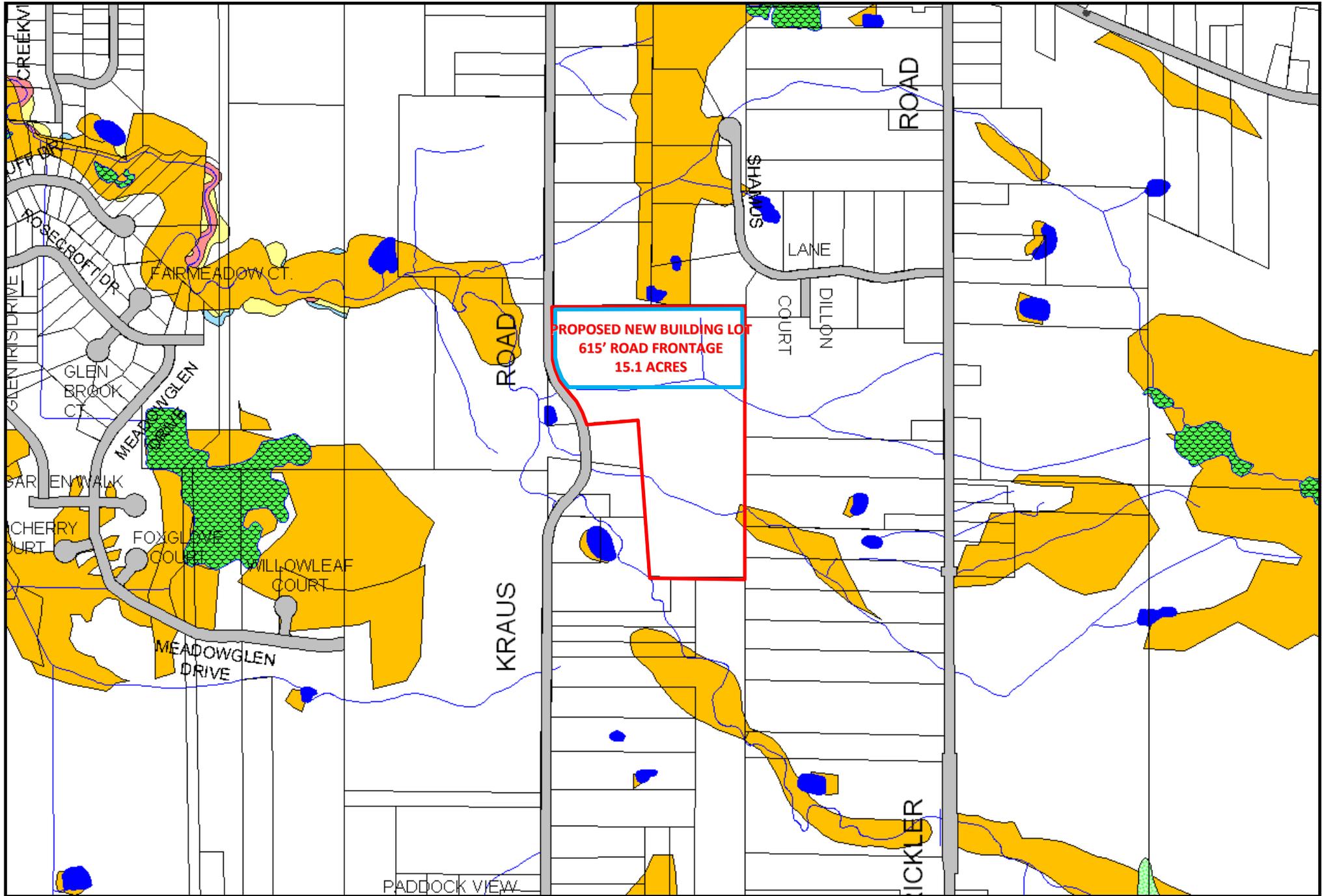
Clarence Town Board	August 2012
_____	_____
Name of Lead Agency	Date
James B. Callahan	Director of Community Development
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (If different from responsible officer)



# AERIAL MAP



# FLOODPLAIN/WETLAND MAP



**Appendix C**  
**State Environmental Quality Review**  
**SHORT ENVIRONMENTAL ASSESSMENT FORM**  
**For UNLISTED ACTIONS Only**

**PART I - PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)**

1. APPLICANT/SPONSOR Michael Powers	2. PROJECT NAME Powers Minor Subdivision
3. PROJECT LOCATION: Municipality <u>Town of Clarence</u> County <u>Erie</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>5685 Kraus Road</u>	
5. PROPOSED ACTION IS: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input checked="" type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <u>Split of existing residential lot to create an additional residential lot in the Residential Single-Family Zone in an unsewered area.</u>	
7. AMOUNT OF LAND AFFECTED: Initially <u>36.6</u> acres    Ultimately <u>36.6</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No    If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    If Yes, list agency(s) name and permit/approvals:	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    If Yes, list agency(s) name and permit/approvals:	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Michael Powers</u> Date: <u>August 2012</u> Signature: <u>Michael Powers, Owner</u>	

**If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment**

**PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)**

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF.  
 Yes  No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.  
 Yes  No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:  
No.

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:  
No.

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:  
No.

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:  
No.

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:  
No.

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:  
No.

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:  
No.

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)?  
 Yes  No If Yes, explain briefly:

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?  
 Yes  No If Yes, explain briefly:

**PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)**

**INSTRUCTIONS:** For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D of Part II was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

- Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.
- Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide, on attachments as necessary, the reasons supporting this determination.

Clarence Town Board

August 2012

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Date

James B. Callahan

Director of Community Development

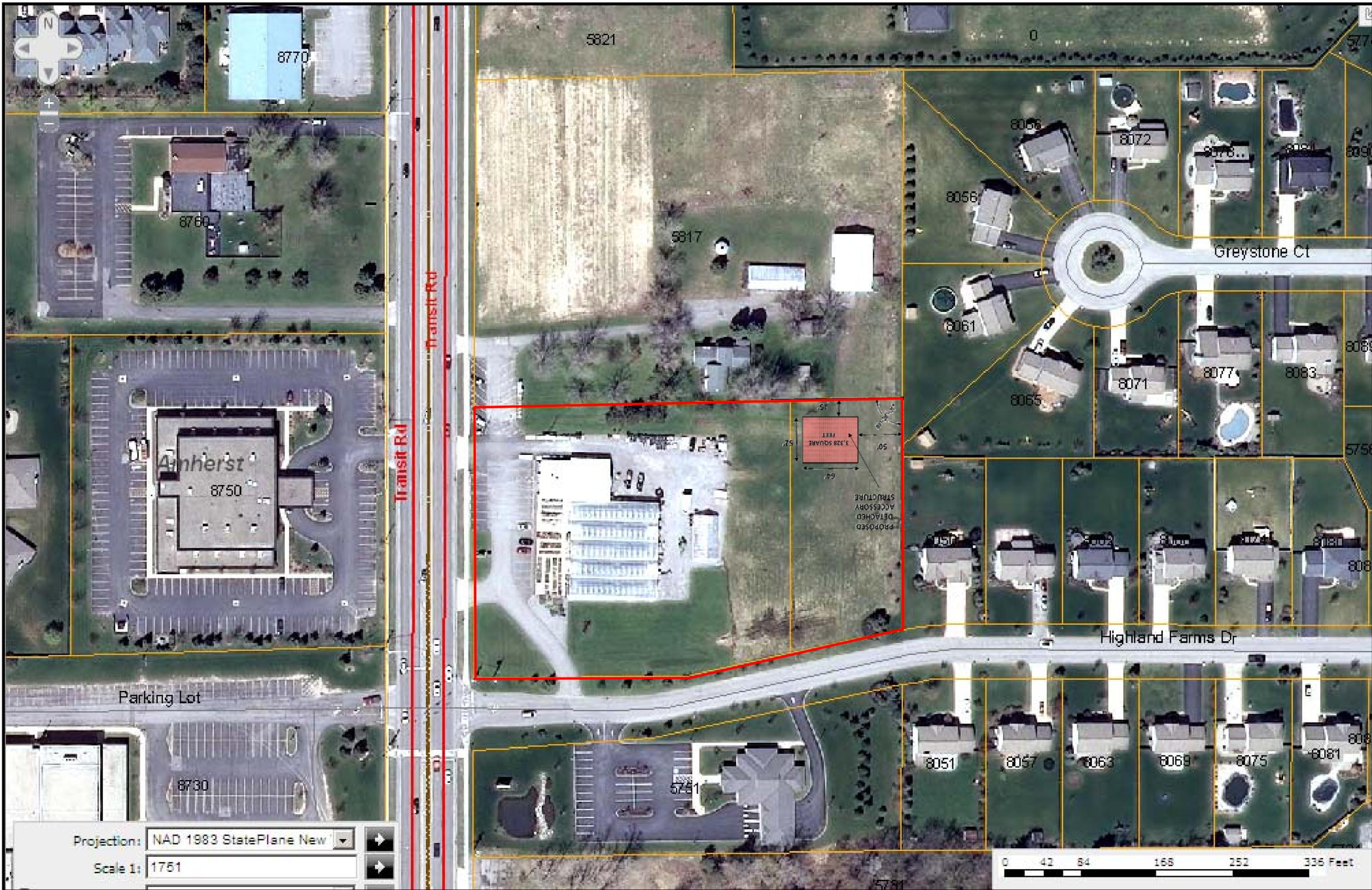
\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (If different from responsible officer)





Transit Rd

Greystone Ct

Highland Farms Dr

Annherst  
8750

Parking Lot

8730

5821

5817

5751

8056

8072

8078

8081

8056

8061

8065

8071

8077

8083

8051

8057

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8069

8075

8081

8051

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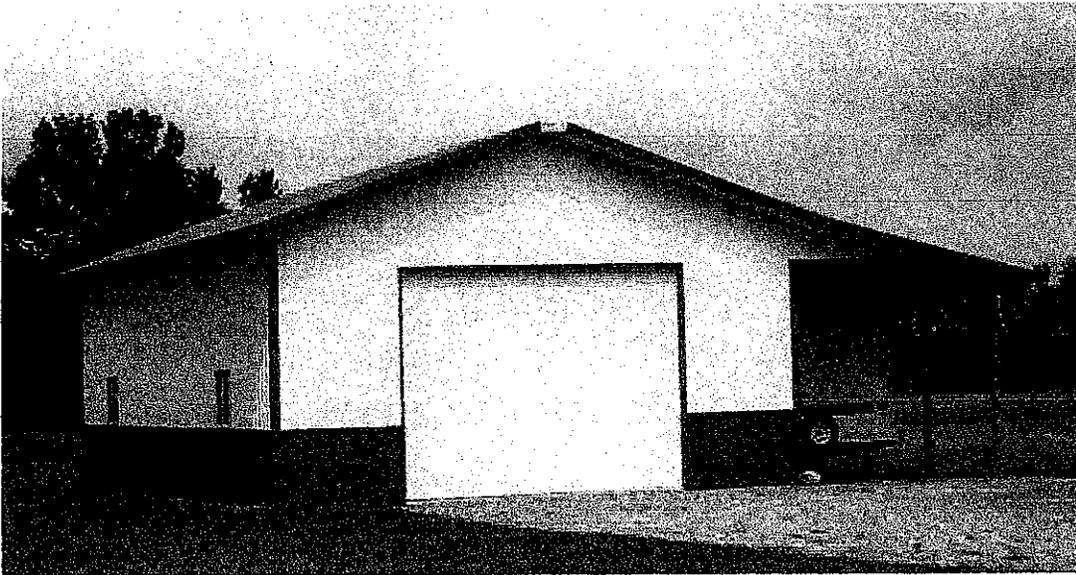


PROPOSED  
DETACHED  
ACCESSORY  
STRUCTURE

Projection: NAD 1983 StatePlane New

Scale 1: 1751

0 42 84 168 252 336 Feet



close X

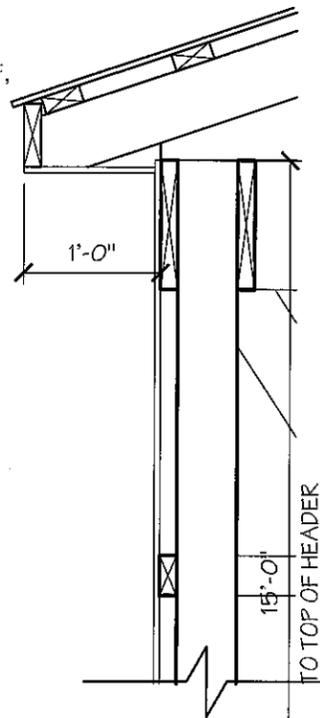
**RECEIVED**

**AUG 10 2012**

**ZONING OFFICE**

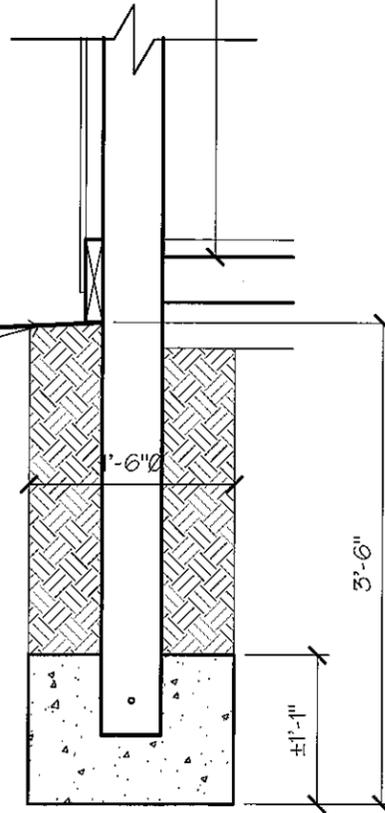
**TYPICAL ROOF**

- 29 GAGE STEEL ROOFING
- 2 x 4 PURLINS @ 24" O.C.
- WOOD ROOF TRUSSES @ 48" O.C.  
(CERTIFIED TRUSS DESIGN BY MANUF, SUBMIT TRUSS DRAWINGS TO BLDG DEPARTMENT PRIOR TO ERECTION)
- METAL DRIP EDGE
- METAL FASCIA ON 2 x 6 NAILER
- METAL SOFFIT
- (2) 2 x 12 HEADER



**TYPICAL EXT WALL**

- METAL SIDING
- 2 x 4 GIRTS @ 24" O.C.
- 2 x 8 P.T. SKIRT BOARD @ BASE OF POST
- 4 x 6 P.T. POSTS, SPACING AS PER PLANS
- 2 x 6 DIAGONAL BRACING @ CORNERS, TYP



**TYPICAL FLOOR**

- 4" POURED CONCRETE FLOOR, MIN 3,500 PSI
- 4" COMPACTED SAND FILL

SLOPE GRADE 6" IN FIRST 10'-0" FOR PROPER DRAINAGE FROM BUILDING

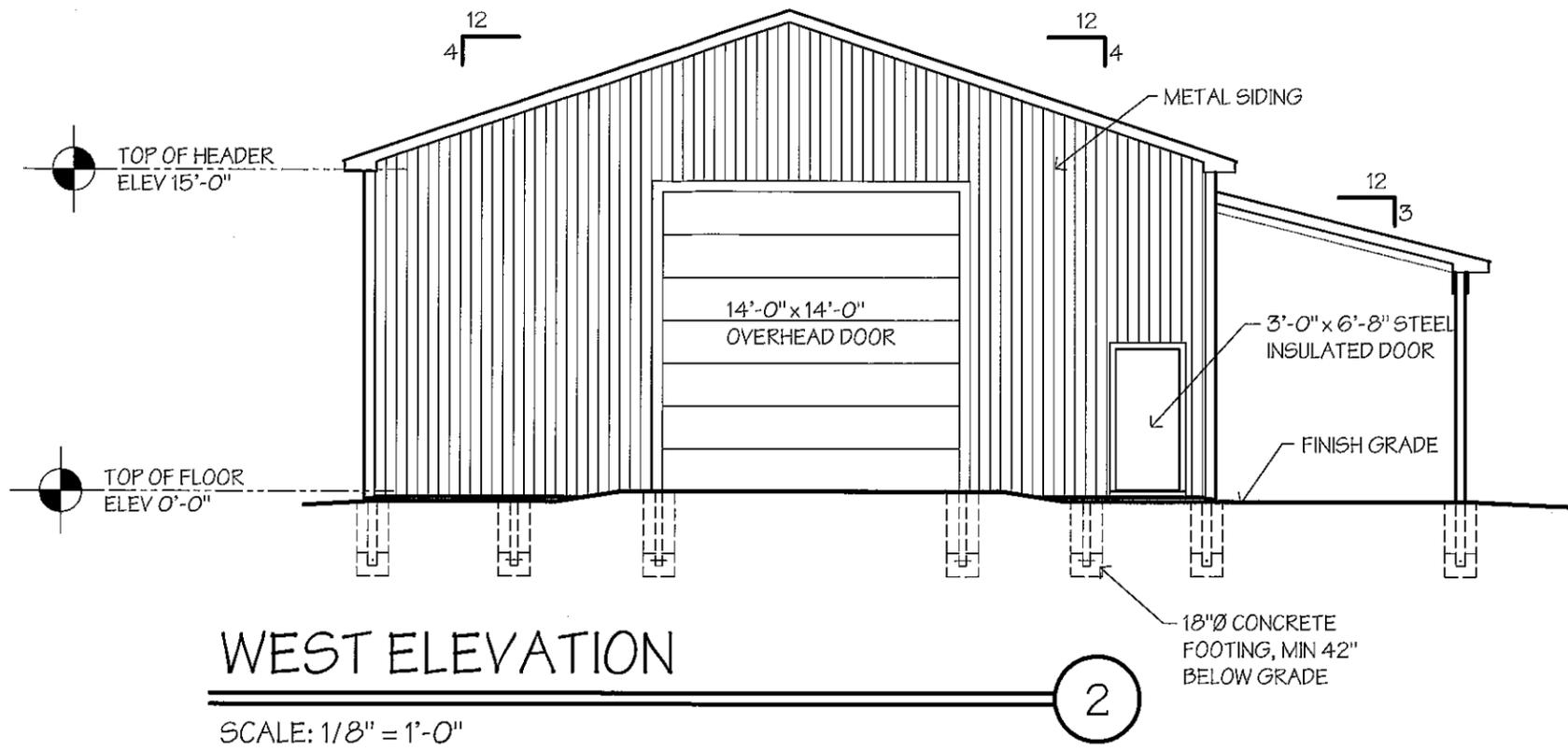
**TYPICAL POST FOOTING**

- 18"Ø x (3) BAGS OF DRY MIX, 5,000 PSI CONCRETE FOOTING, TYP
- 9" x 1/2"Ø STEEL PIN THRU POST
- BACKFILL AS NECESSARY W/ EXCAVATED MATERIALS

**WALL SECTION**

SCALE: 3/4" = 1'-0"

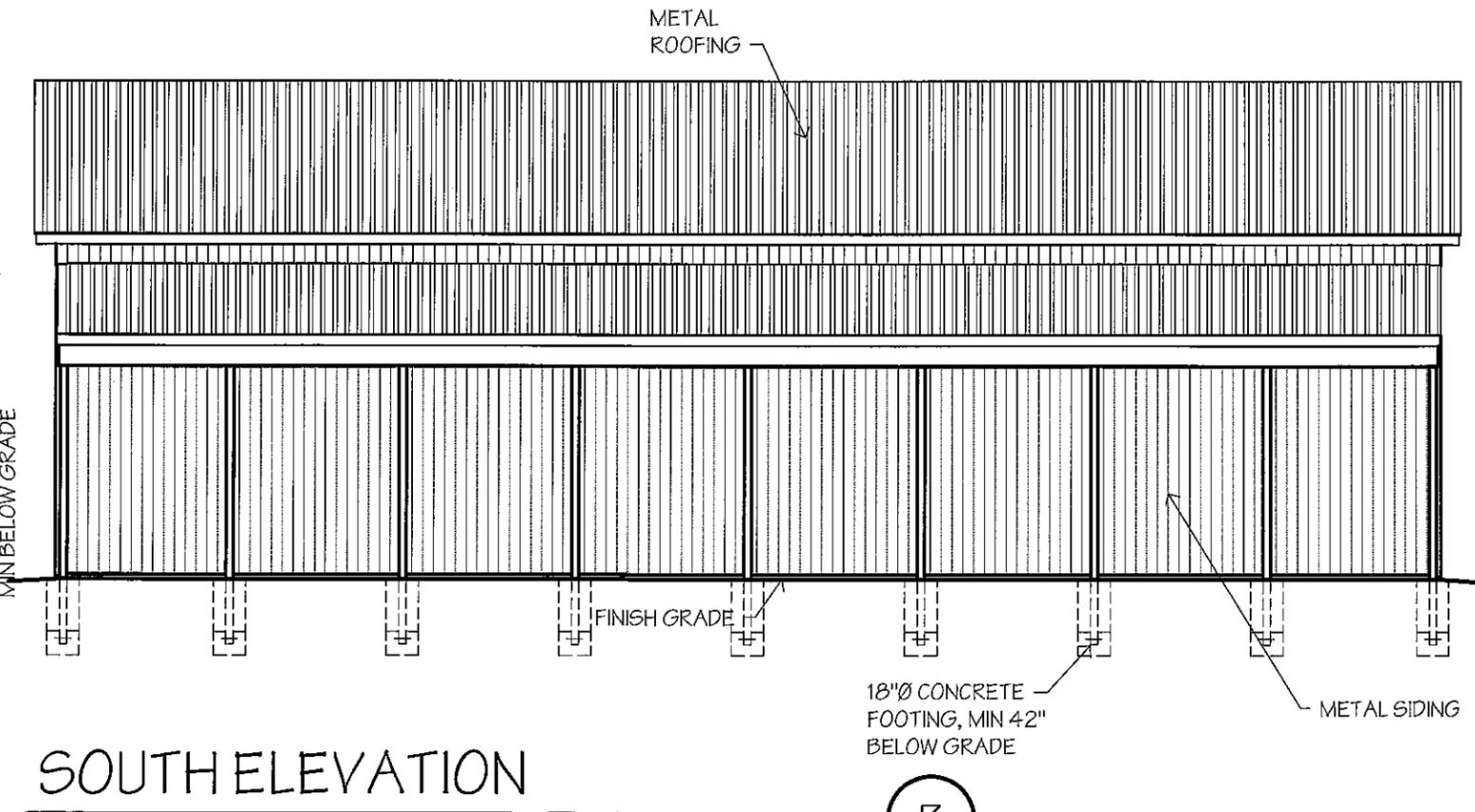
1



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

2

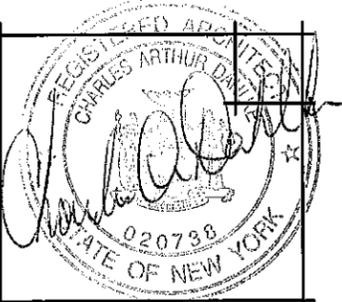


**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

3

**PARCO BUILDING SYSTEMS, INC**  
 registered architect • 6701 s. transit road, suite 3, lockport, new york 14094  
 6140 FIRST STREET, NEWFANE, NY 14108  
 716-778-8552, FAX 716-778-8961, 1-800-784-4361  
 charles a. dahlike, cadahlike@cadahlkera.com • 716 - 957 - 9747



PROJECT TITLE / LOCATION: <b>SPOTH'S FARM MARKET CLARENCE, NEW YORK</b>	SCALE: AS SHOWN	DATE: 6-7-12 REV 8-3-12	CONTENTS ON SHEET: <b>SHEET 2 OF 5</b>
CONTENTS ON SHEET: <b>ELEVATIONS</b>	SCALE: AS SHOWN	DATE: 6-7-12 REV 8-3-12	CONTENTS ON SHEET: 8 3 12

DRAWING NO: <b>A-1</b>	12-049
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NOTE: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY.

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Y:\12\12-049 Parco Spoth Farm\Final\Rev 1 080312\Rev.dwg, 8/3/2012 1:38:43 PM, Xenox WorkCentre 21 PCL 6

**CONVERT GROUND SNOW LOAD TO ROOF SNOW LOAD**  
 ALL FIGURES, TABLES AND EQUATIONS ARE AS SHOWN IN RCNYS AND ASCE STANDARD 1  
 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES)

DETERMINE GROUND SNOW LOAD ( $P_g$ ) FROM FIGURE R301.2(5)

$P_g = 50 \text{ PSF}$

CALCULATE FLAT ROOF SNOW LOAD ( $P_f$ )

$P_f = 0.7 \times C_e \times C_t \times I \times P_g$

$P_f = 0.7 \times 1.0 \times 1.1 \times 0.8 \times 50$

$P_f = 30.8 \text{ PSF}$

CALCULATE SLOPED ROOF SNOW LOAD ( $P_s$ )

$P_s = C_s P_f$

$P_s = 0.925 \times 30.8$

$P_s = 28.49 \text{ PSF}$

$C_e$  = EXPOSURE FACTOR (TABLE 7-2)

$C_e = 1.0$

$C_t$  = THERMAL FACTOR (TABLE 7-3)

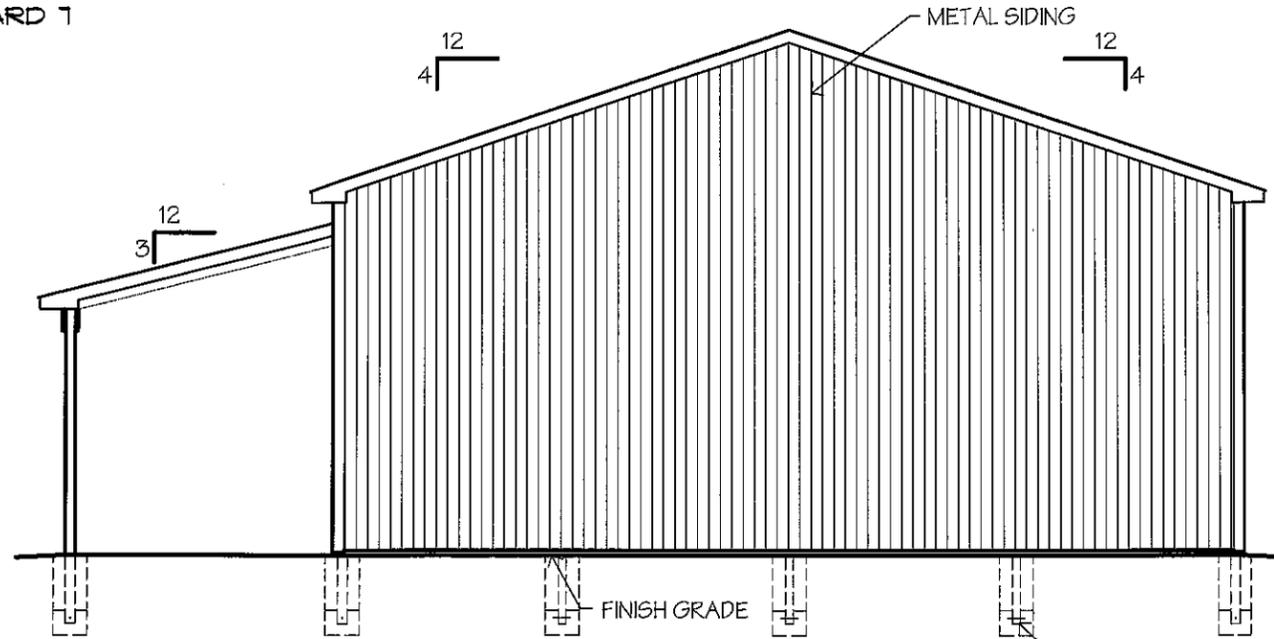
$C_t = 1.1$

$I$  = IMPORTANCE FACTOR (TABLE 7-4)

$I = 0.8$

$C_s$  = ROOF SLOPE FACTOR (FIGURE 7-2)

$C_s = 0.925$



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

1

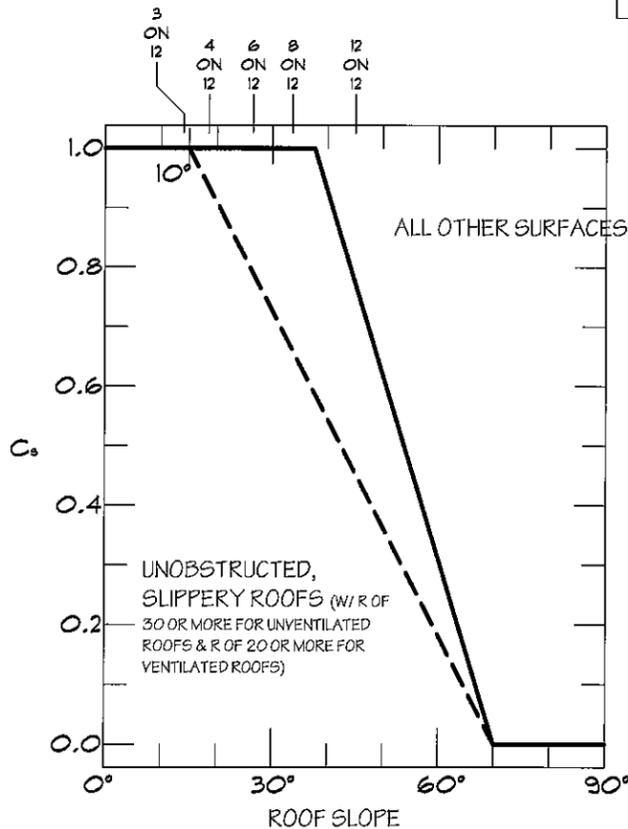
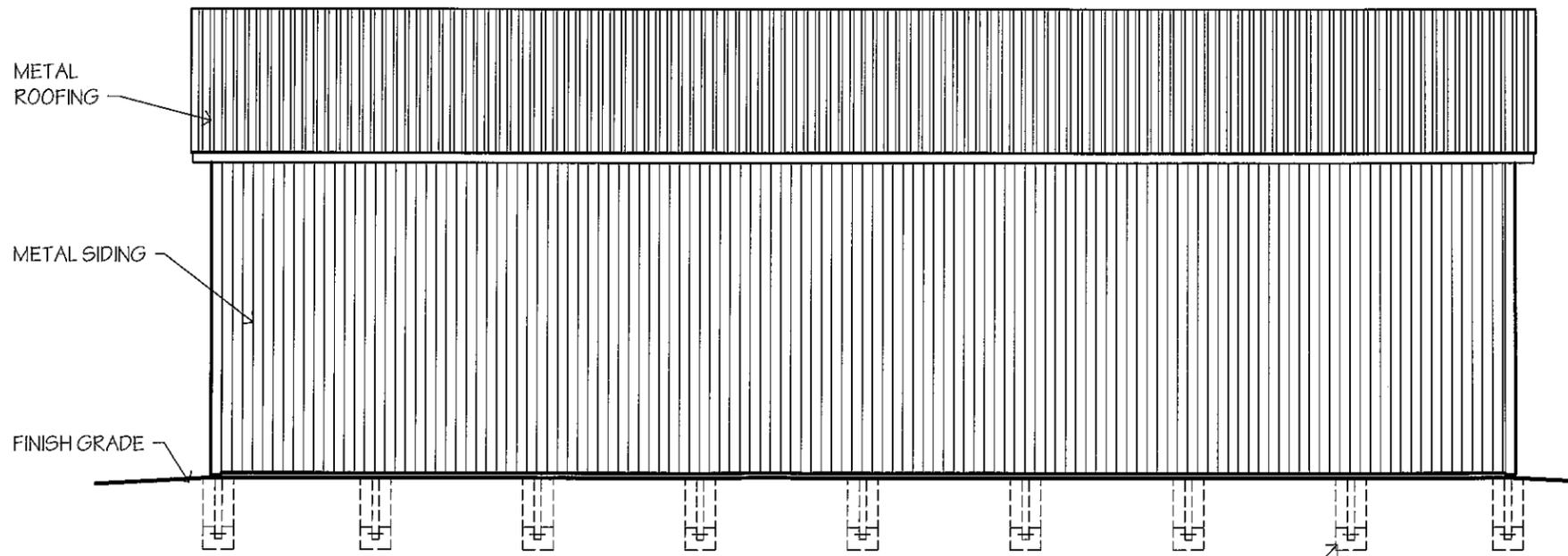


FIGURE 7-2. GRAPHS FOR DETERMINING ROOF SLOPE FACTOR  $C_s$  FOR WARM & COLD ROOFS

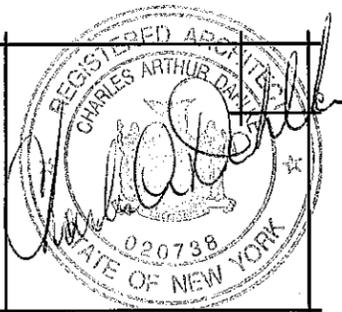


**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

2

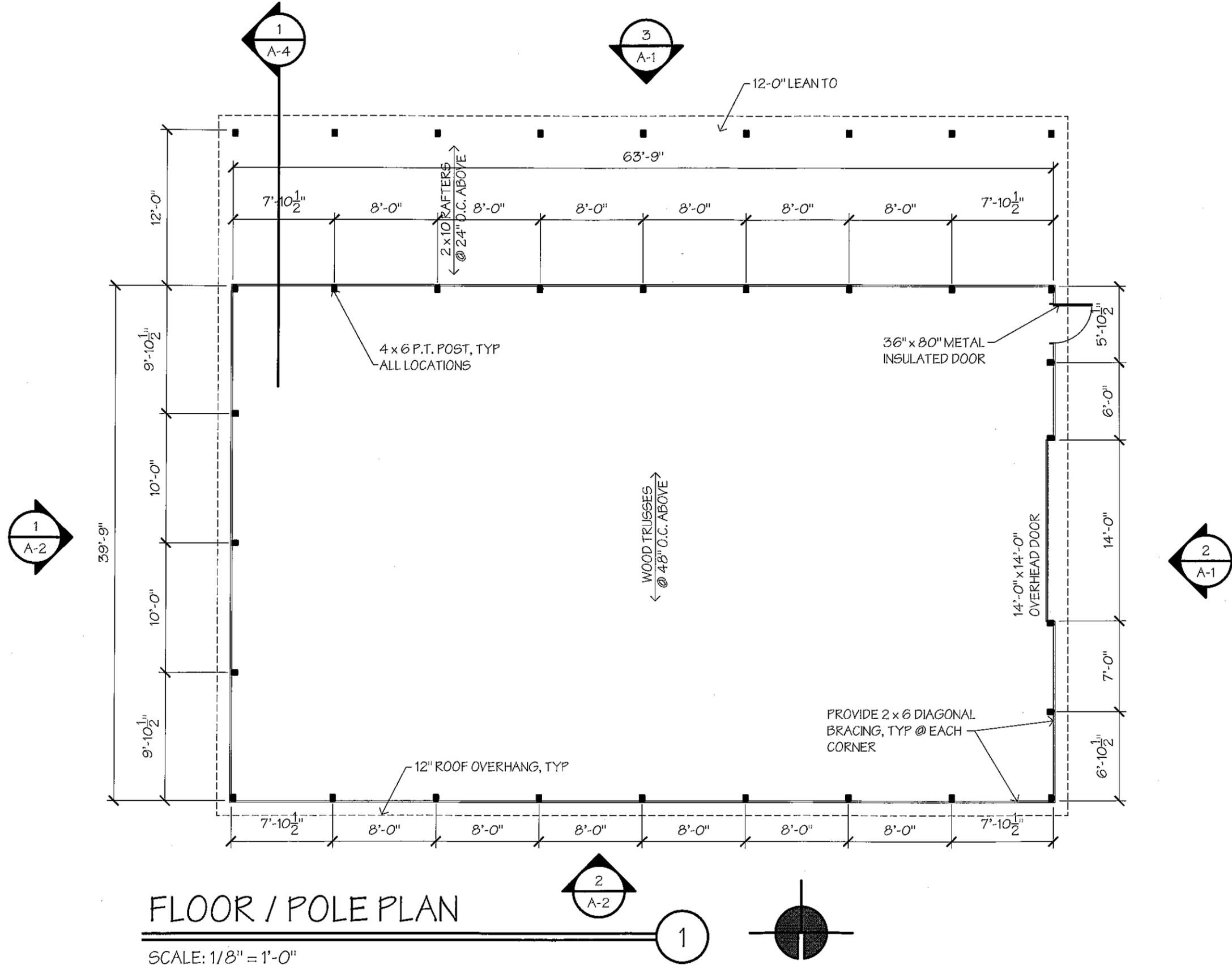
6140 FIRST STREET, NEWFANE, NY 14108  
 716-778-8552, FAX 716-778-8961, 1-800-784-4361  
 cadahlke@cadahlke.com \* 716 - 957 - 9747



**PARCO BUILDING SYSTEMS, INC**  
 registered architect \* 6701 s. transit road, suite 3, lockport, new york 14094

PROJECT TITLE / LOCATION: SPOTH'S FARM MARKET CLARENCE, NEW YORK	SCALE: AS SHOWN	DATE: 6-7-12 REV 8-3-12	CONTENTS ON SHEET: SHEET 3 OF 5
DRAWING NO: <b>A-2</b>	12-049		

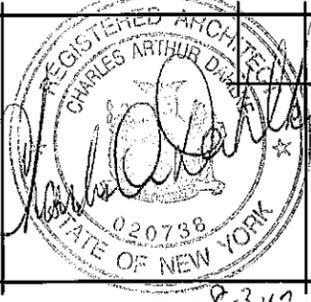
NOTE: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY.



**FLOOR / POLE PLAN**

SCALE: 1/8" = 1'-0"

**PARCO BUILDING SYSTEMS, INC**  
 registered architect \* 6701 s. transit road, suite 3, lockport, new york 14094 \* 716 - 957 - 9747 \*  
 6140 FIRST STREET, NEWFANE, NY 14108  
 716-778-8552, FAX 716-778-8961, 1-800-784-4361  
 cadahlke@cadahlke.com



PROJECT TITLE / LOCATION: SPOTH'S FARM MARKET CLARENCE, NEW YORK	SCALE: AS SHOWN	Life by Design designs to build your life on
CONTENTS ON SHEET: FLOOR / POLE PLAN	DATE: 6-7-12 REV 8-3-12	CONTENTS ON SHEET: SHEET 4 OF 5

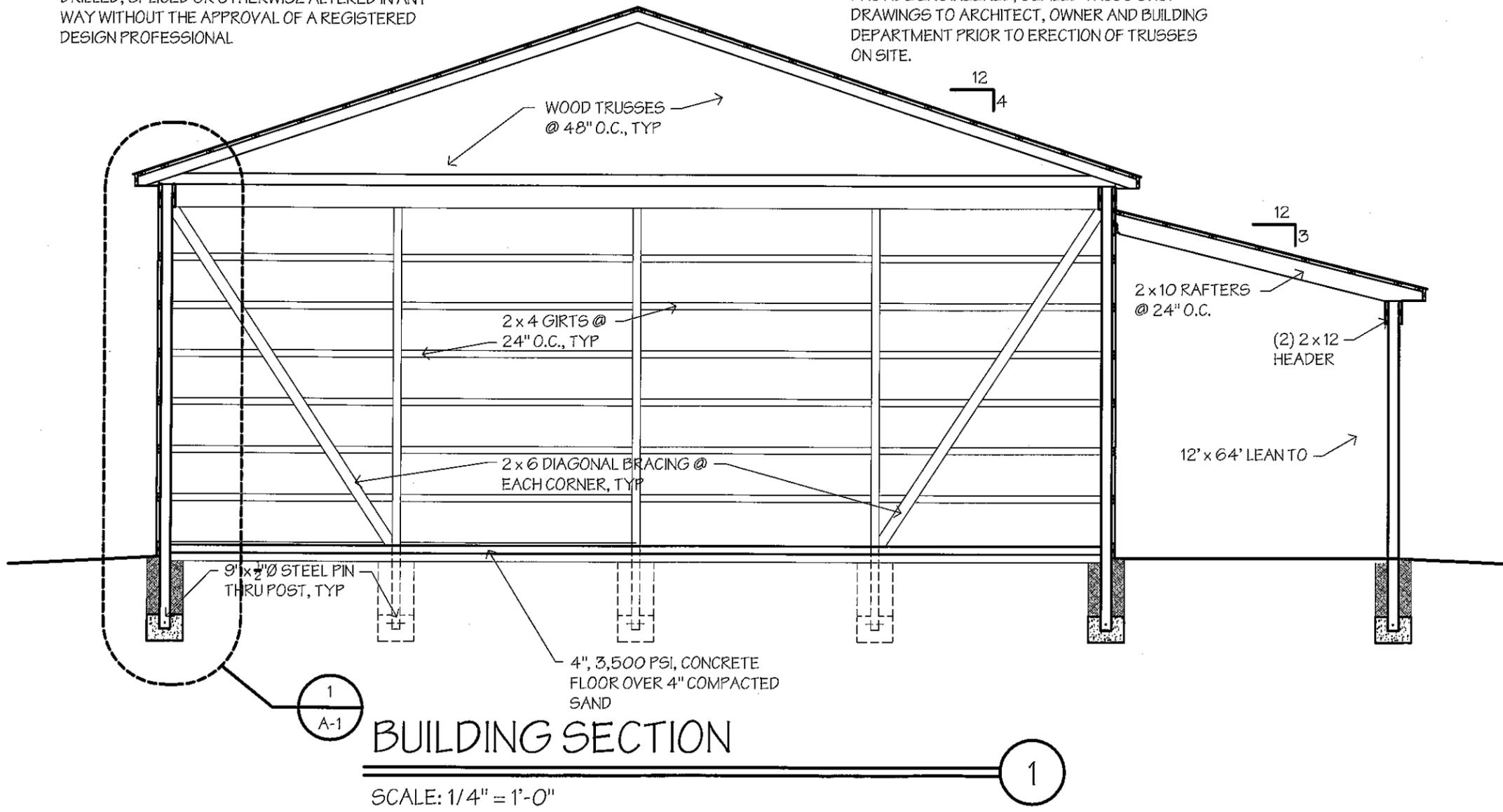
DRAWING NO:  
**A-3**  
12-049

NOTE: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY.

Y:\2012\12-049 Parco Spoth Farm\Final\Rev 1 080312\Elev.dwg, 8/3/2012 1:37:46 PM, Xerox WorkCentre 24 PCL 6

TRUSS MEMBERS SHALL NOT BE CUT, NOTCHED, DRILLED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF A REGISTERED DESIGN PROFESSIONAL

CERTIFIED TRUSS DESIGN BY TRUSS MANUF, PROVIDE ENGINEERED, SEALED TRUSS SHOP DRAWINGS TO ARCHITECT, OWNER AND BUILDING DEPARTMENT PRIOR TO ERECTION OF TRUSSES ON SITE.

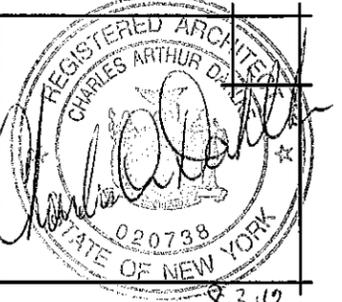


**BUILDING SECTION**

SCALE: 1/4" = 1'-0"

**PARCO BUILDING SYSTEMS, INC**

6140 FIRST STREET, NEWFANE, NY 14108  
716-778-8552, FAX 716-778-8961, 1-800-784-4361  
cadahlke@cadahlkera.com



PROJECT TITLE / LOCATION: <b>SPOTH'S FARM MARKET CLARENCE, NEW YORK</b>	SCALE: AS SHOWN	Life by Design designs to build your life on	8-3-12
CONTENTS ON SHEET: <b>SECTIONS</b>	DATE: 6-7-12 REV 8-3-12	CONTENTS ON SHEET: <b>SHEET 5 OF 5</b>	

DRAWING NO: <b>A-4</b>	12-049
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NOTE: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY.

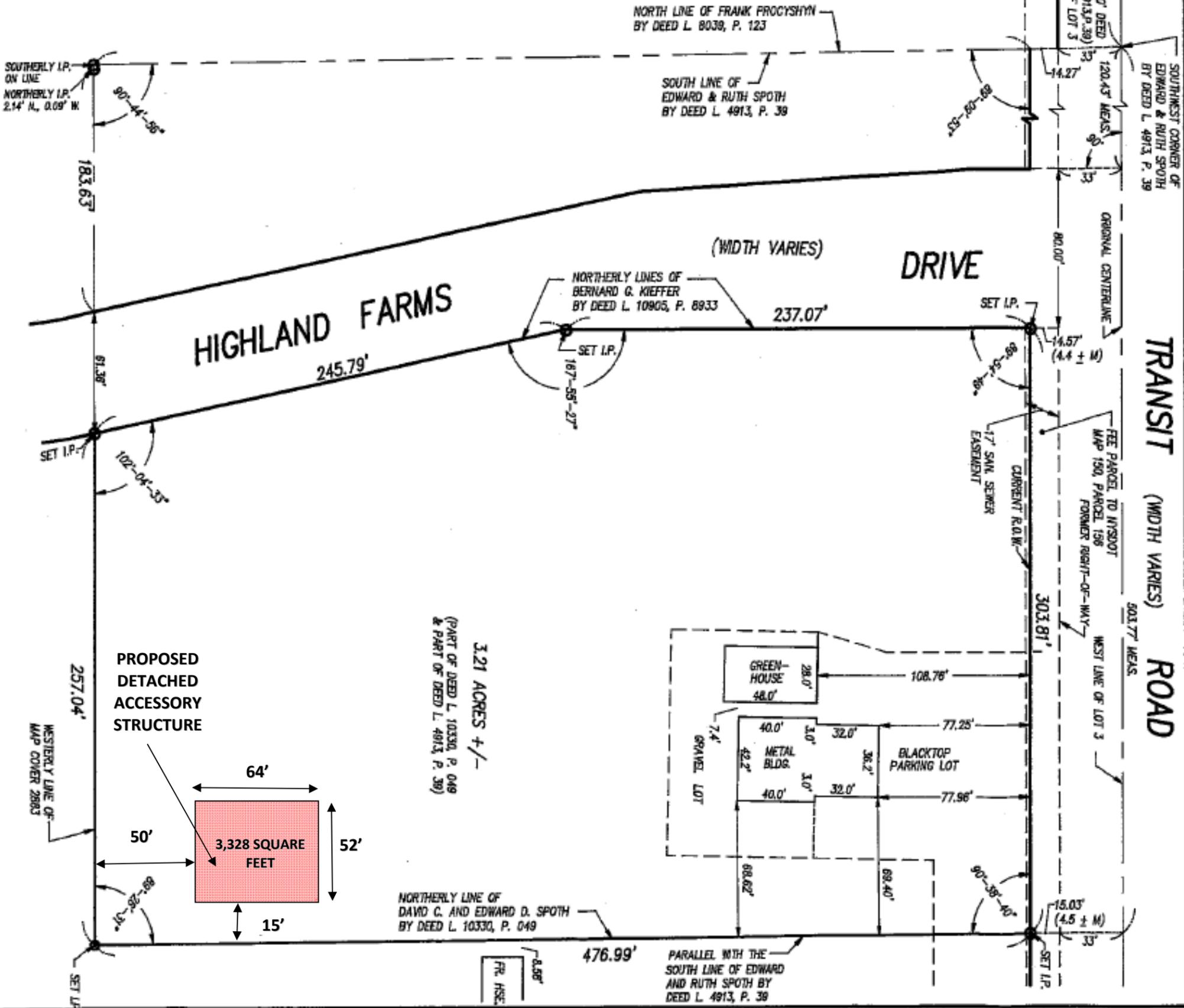
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**TABLE OF EQUIVALENTS**

Feet	Inches
0.08	1
0.17	2
0.25	3
0.33	4
0.42	5
0.50	6
0.58	7
0.67	8
0.75	9
0.83	10
0.92	11
1.00	12

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NY STATE EDUCATION LAW

This survey was prepared without the benefit of an abstract of title and is subject to any state of facts that may be revealed by an examination of such.



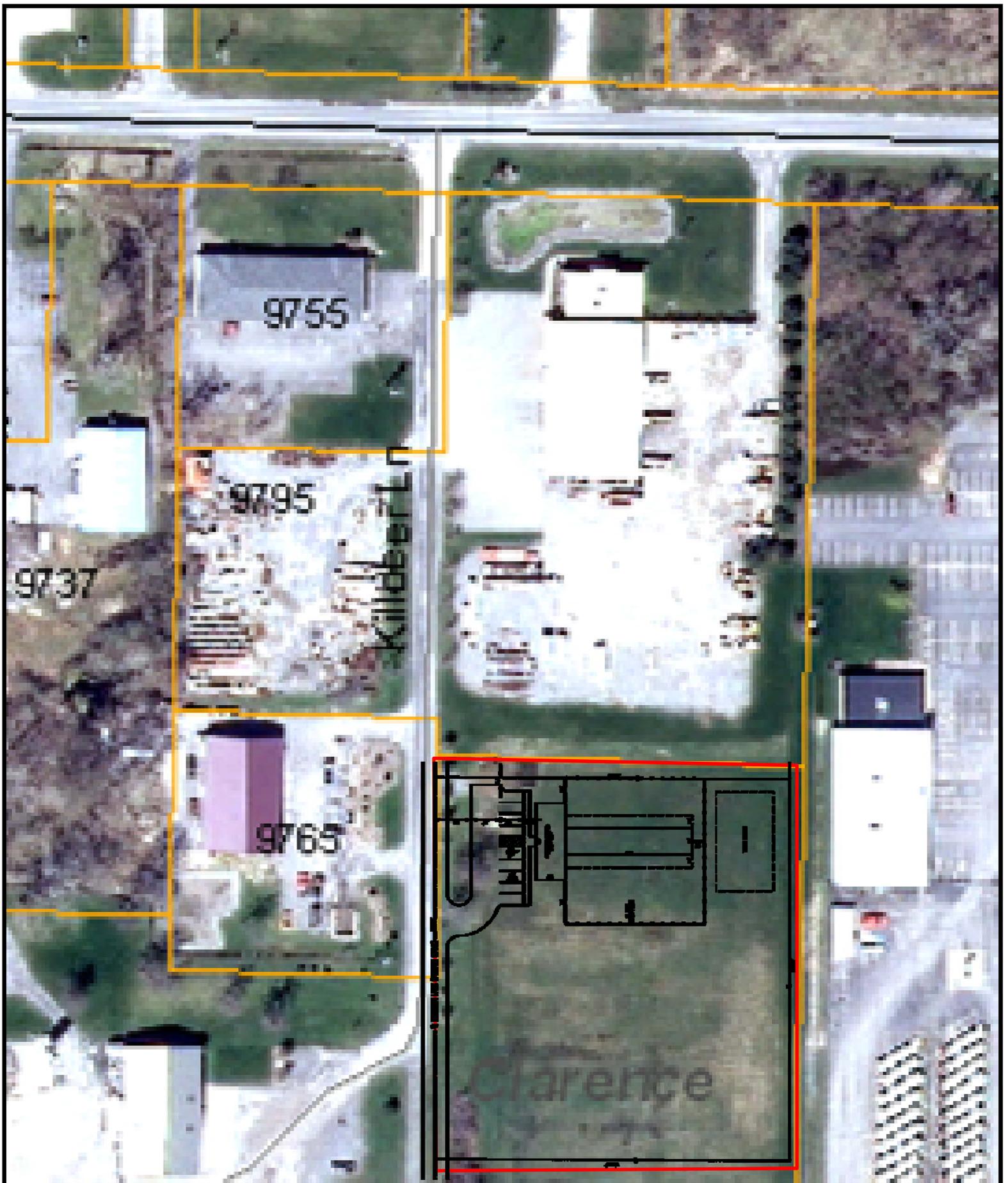
**SURVEY OF**  
 LOCATION TRANSIT ROAD  
 LIBER (SEE MAP) PAGE  
 MAP COVER SUBLOT  
 BEING PART OF LOT 3, SECTION 15  
 TOWNSHIP 12 RANGE 6  
 TOWN/CITY OF CLARENCE  
 COUNTY OF ERIE, STATE OF NEW YORK  
 HOUSE LOC. \_\_\_\_\_



**RESURVEYED**  
 N.Y.S. LICENSE NO. 39310

**ROBERT J. NICAISE**  
**LAND SURVEYOR**  
 S-6294 SUNNYSIDE DRIVE  
 HAMBURG, NEW YORK 14075  
 TELEPHONE NO. 649-1724

SCALE 1" = 60' DATE 2/21/00  
 JOB NO. 99039-4



9755

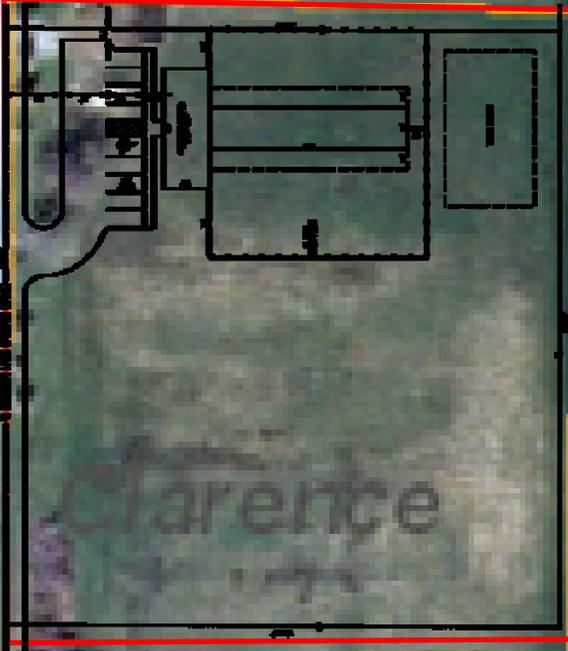
9795

9737

9765

Kilbuck Ln

Clarence





7-27-12



**PROJECT SITE**

© 2012 Metzger Civil Engineering, PLLC

DESIGNED BY:   
 DRAWN BY:   
 CHECKED BY:   
 CAD FILE:   
 DATE:   
 PROJECT:   
 SHEET:   
 TOTAL SHEETS:   
 DATE:   
 BY/CHECK:

REFERENCE NOTES:  
 1.) BOUNDARY DATA PROVIDED BY OTHER & MILLER LSPC, DATED 6.18.12.  
 2.) THIS IS NOT A BOUNDARY OR PROPERTY SURVEY.

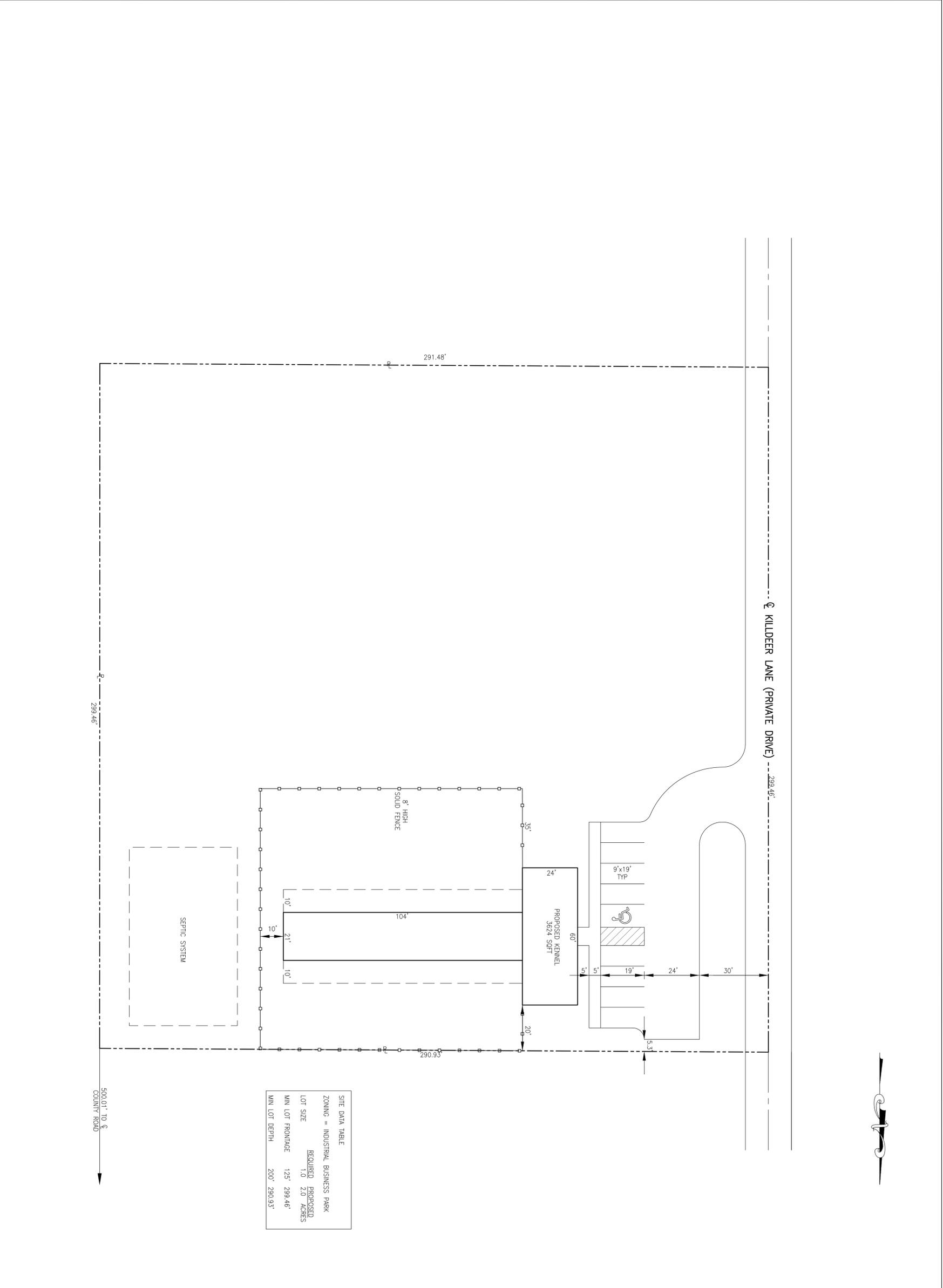
DESIGNED BY:   
 DRAWN BY:   
 CHECKED BY:   
 CAD FILE:   
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 PROJECT:   
 SHEET:   
 TOTAL SHEETS:   
 DATE:   
 BY/CHECK:

**METZGER CIVIL ENGINEERING, PLLC**  
 8560 MAIN ST.  
 WILLIAMSVILLE, NY 14221  
 PH: 716-653-2801  
 FAX: 716-653-2704

CIVIL ENGINEERING  
 LAND PLANNING  
 SITE DESIGN  
 MUNICIPAL ENGINEERING

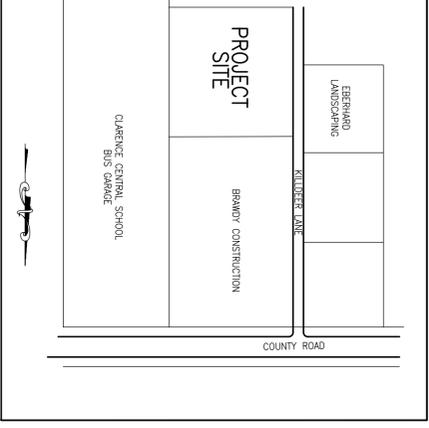
**DOG BOARDING FACILITY**  
**KILLDEER LANE**  
 TOWN OF CLARENCE, ERIE COUNTY, NEW YORK  
**CONCEPT PLAN**

SCALE: 1" = 20'  
 DATE: 08.02.12  
 JOB NO.: M-1226  
 DRAWING NO.: CP-1



SITE DATA TABLE

ZONING = INDUSTRIAL BUSINESS PARK	REQUIRED	PROPOSED
LOT SIZE	1.0	2.0 ACRES
MIN LOT FRONTAGE	125'	299.46'
MIN LOT DEPTH	200'	290.93'



LOCATION MAP  
 NOT TO SCALE

## General Strategy

Proposal would establish "overlay zones"

- Similar in application to the "open space design"
- Town Board control over location and design features
- More restrictions and design features than the current "Special Exception Use Permit" regulation.
- Two separate overlay districts are proposed: Traditional Neighborhood and Commercial/Restricted Business zones.
- Multi-Family development is not allowed in the Major Arterial zone.
- Multi-family uses within residential zones are adequately addressed in those regulations and are not included.
- There is no specific Senior Housing distinction – Senior Housing must be considered the same as normal multi-family since shifting demographics could require a change in use in the future.

## Principal Features

- Multi-family use will only be allowed on lots within sewer districts. An exception mechanism is available which could allow restricted multi-family development on unsewered lots in the Commercial zone.
- Screening requirements are enhanced, including from public roadways.
- Underlying zoning regulations (buffers, setbacks, etc.) apply in all cases.
- Interconnectivity to adjacent commercial and residential development is required to the maximum extent possible.
- Two (2) parking spaces are required per unit. At the discretion and recommendation of the Planning Board, additional open space in lieu of parking can be approved; this option should be considered when the project is designated as "Senior Housing" with lower parking needs.

## Traditional Neighborhood Zone

1. Small scale, low density (4 units per acre, 16 units maximum).
2. Two (2) acre minimum lot size for the consideration of a Multi-Family Overlay Design.
3. Scale and design standards compatible with Hamlet features.

## Commercial and Restricted Business Zones

1. Unit Density to be determined based on entire parcel acreage.
  - Density varies according to size of units:
    - ✓ 1 bedroom – 12 units per acre
    - ✓ 2 bedrooms – 10 units per acre
    - ✓ 3 bedrooms or greater – 8 units per acre
2. Minimum Lot size for consideration of a Multi-Family Overlay Design to be 5 acres.
3. Multi-family developments in commercial zones will require a "commercial component" (minimally 25% of the entire parcel acreage), establishing these as essentially "mixed use"; interconnectivity with other residential and commercial uses is required.
  - a. Part or all of this percentage can be saved as "green space" for later commercial development; this reserved commercial green space is in addition to the required overall project site open space as per lot coverage calculations.
  - b. Upon recommendation of the Planning Board, the Town Board will designate which part of the property is to be "green space" and which part will be "commercial development" at the time of Concept Plan Approval.
4. Multi-family developments in these zones will require 30% (20% with required interconnections as per the underlying zoning regulations) of the land be devoted to "green space".

5. In special cases, the Town Board, upon recommendation of the Planning Board, may allow multi-family uses on unsewered lots within the Commercial zone. These circumstances include:
- Maximum 70% lot coverage.
  - Minimum 50% commercial use of developable land (35% of the total lot).
  - Maximum on-site waste treatment of 7500 gpd, including residential and projected commercial waste (this requirement, combined with the minimum commercial use, would typically yield a maximum of 16 housing units, regardless of site acreage).
  - Super majority vote of the Town Board

Note: Multi-family housing is not allowed on unsewered lots within the Restricted Business zone.

The crux of the debates will be:

1. Density in C and RB zones. BK wants 6 per acre regardless of size; proposal varies with size, similar to Amherst and Orchard Park. These are only numbers, and they can be negotiated/changed.
2. Commercial Component in C and RB. Proposal allows a “staged” development, but builders will not like it.
3. Building on unsewered lots. There are three choices:
  - a) Allow unrestrained. (PB will probably not recommend this)
  - b) Allow with restrictions (as in this proposal). (Metzger/Steven will object to the restrictions as proposed.
  - c) Do not allow at all. This might be ultimate PB and/or TB position.
4. Special Senior Housing Code. Proposal allows for “softening” parking requirements, but does not recognize Senior Housing as a separate category. Belief is that Senior Housing eventually becomes “Affordable Housing” and should be treated as such.
5. Development “cap”. BK and PC have talked about this; this is a separate issue.