

REQUEST FOR ACTION BY:

TOWN OF CLARENCE, N.Y.

- Appeal Board
- Planning Board
- Town Board

- Appeal
- Rezone
- Revise Ordinance
- Subdivision
- Limited Use Permit
- Other

Rec'd. by: Jonathan Bleuer

Date September 15, 2014

Action Desired Applicant requests to clarify rear yard setbacks relating to a previously approved variance of 240 sq. ft. to allow for the construction of a 440 sq. ft. detached garage located at 4920 Cliffside Drive West. Principle structure is located within the Residential Single Family zoning classification.

Reason _____

Town Code Reference:

§229-55 (H)

PLEASE PRINT

Name Gary & Judy Horvatits		
Address 4920 Cliffside Dr West		
Clarence	NY	14031
Town/City	State	Zip
Phone		
Signed SIGNATURE ON FILE		

Requests for action on zoning should be filled out completely in above spaces if practicable; otherwise give brief description and refer to attached papers. The complete request with all necessary plans, maps, signatures, should be filed with the Secretary of the Planning Board. Requests (except appeals) may be filed with the Town Clerk or Town Board, but will generally be referred to Planning Board with subsequent loss of time.

Initial Action

- Approved
- Rejected by on 19
- Approved
- Rejected by on 19
- Published (Attach Clipping) on 19
- Hearing Held by on 19

Final Action Taken

- Approved
- Rejected by on 19
- Published (Attach Clipping) on 19
- Filed with Town Clerk on 19
- Filed with County Clerk on 19

Memo

To: Zoning Board of Appeals Members

Jonathan Bleuer
Junior Planner
From: Town of Clarence Planning and Zoning

cc: File
Date: October 2, 2014
Re: 4920 Cliffside Drive West

Zoning Board of Appeals Members,

At the Zoning Board of Appeals meeting of August 12, 2014, a variance was granted for the construction of a 440 sq. ft. detached accessory structure located within the rear yard of 4920 Cliffside Drive West.

The documentation provided by the applicant showed a 5' side and rear setback, which is the minimum allowable setback as per Town Code.

It has been determined that the setbacks depicted in the documentation, provided by the applicant, were created in error, and the setbacks are proposed to be approximately 38' and 34' off the rear property lines; which still conform to Town Code.

The applicant has stated that the proposed location was properly staked to show the correct setbacks, however in an effort to maintain proper records for this file and ensure that all interested parties are aware of the correct setbacks as proposed, the item has been placed on the Zoning Board of Appeals agenda of October 14, 2014.



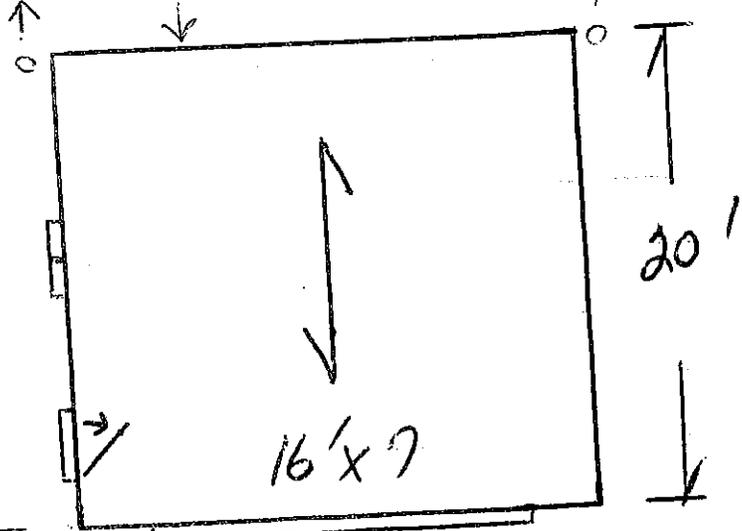
Proposed secondary detached garage
440 sq. ft.



* note the parcel lines displayed are approximate

4920 Cliffside Drive West

Att. PSM / 34' approx.



106'

Gary & Judy
Horbatits
4920 Cliffside Dr. W.

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Rec'd. by: Jonathan Bleuer
Date October 2, 2014

Action Desired Applicant requests a variance of 73.5' to allow for the construction of a 133.5' wind turbine located at 8850 Clarence Center Road. Principle structure is located within the Residential Single Family zone.

Reason _____

Town Code Reference:

§173-4 (C)

PLEASE PRINT

Name	CEC energy - Ryan Storke		
Address	2 Remington Park Dr		
	Cazenovia	NY	13035
Town/City Phone	315-655-8620	State	Zip
Signed	SIGNATURE ON FILE		

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- Filed with Town Clerk on 19
- Filed with County Clerk on 19

Gerald A. Drinkard
6035 Samantha Lane
Clarence Center, NY 14032

Cell (716) 472-7931

September 22, 2014

Re: **Request for Wind Turbine Height Variance on the Thompson Property at Clarence Center Rd & Shimerville Rd.** (A similar letter was sent to you dated August 12, 2014 for the initial request for variance)

This is to comment on the proposed "Wind Turbine" project before the Zoning Board of Appeals (ZBA). I live in the subdivision off of Clarence Center and Shimerville Roads. The sub division name is Amber Meadows and most of the 44 homes were built in the last 3 years. I believe the wind turbine height for the proposed tower project should be limited to 60 feet as prescribed in the Town of Clarence local law Chapter 173, which clearly addresses this as the maximum tower height for wind-driven devices (173-4 para. C.).

A key point to consider is that the entire area surrounding where the wind turbine will be located is zoned "single-family-residential. Application of the law (Chapter 173) should be strictly enforced in this residential zoning. On large parcels of farmland in the Town it is less critical to adhere to height of wind turbines and here a variance may be appropriate. Where all aspects of Chapter 173 are important for consideration for technical reasons the two most important to consider are:

1. Value of surrounding properties. The unsightly height of any structure over the allowed 60 feet would require more guide wires, more steel structure, and more robust foundation anchorage. Many of the homes in Amber Meadows directly face the proposed wind turbine location and resale of homes in the sub division would be affected.
2. Sound is a consideration. Sound in decibels, frequency harmonics overall, and low-decibel vibrations for those living relatively near wind turbines are a consideration. Where the measured sound decibel level may be low – this is only one measure of multiple sounds and vibrations produced.

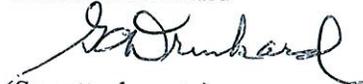
I do understand that the Thompson business is zoned single-family-residential with an "agricultural" overlay. Although this agricultural overlay does allow certain exemption from unreasonable administrative requirements which may be imposed, it does not grant an as-of-right to not comply with reasonable local laws such as Chapter 173 as well as other local laws. Chapter 173 is reasonable as written. Other requirements that must be complied with are outlined in Chapter 173.

A review of the Erie County "Right-To-Farm" Law (1-1999), section 4 (IV) states that "agricultural practices must be conducted in conformity with all local, state and federal laws and thus adherence to Chapter 173 of the Clarence Town Law is appropriate.

For these reasons I believe the request for any height variance greater than the allowed 60 feet should be denied.

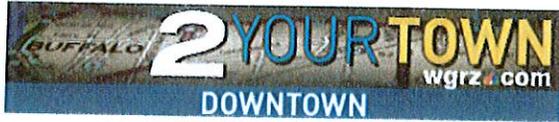
Thank you,

Gerald A. Drinkard



(See attachments)

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'Silent But Deadly': Wind Turbines in Western New York - Part One | Environment

Title (Max 100 Characters)

'Silent But Deadly': Wind Turbines in Western New York - Part One



Submitted by [Daniel Crofts \(profile/58859/daniel-crofts\)](#), Community Blogger
Wednesday, November 30th, 2011, 10:59am

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Topics: [Environment \(news/environment\)](#), [Health \(news/health\)](#)

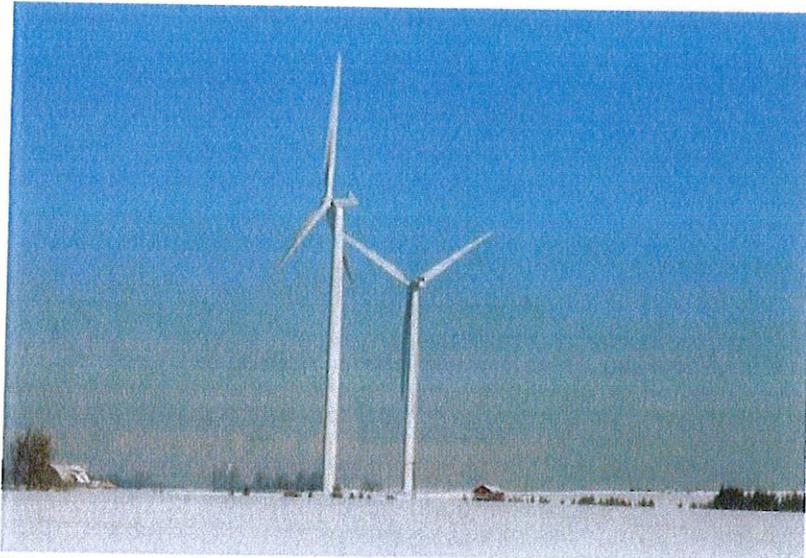


Photo courtesy of <http://concernedcitizens.homestead.com>

Silent noise is getting to be a big problem for anyone living within a mile of industrial wind turbines.

So much so, in fact, that a group of Wyoming County residents – with Allegheny attorney Gary A. Abraham as their legal representative – have formed an advocacy group to keep a proposed wind turbine project out of Orangeville. It is called "Clear Skies Over Orangeville" (CSOO) and has a court case pending against alternative energy company Invenergy's Stony Creek Wind Farm.

Wind turbines have been touted in recent years as viable sources of alternative energy. But do we know enough about this new technology? What are the risks involved?

"What's with all the noise?"

Sally Ross, PhD, a resident of Oakfield (Genesee County), takes issue with people's tendency to refer to wind turbines as "windmills."

"That's too innocuous," she said.

While CSOO continues its grassroots efforts, Ross, a former professor of social sciences at the New York Institute of Technology, is conducting a research study on the effects of wind turbines on human, animal, and organic health.

She began doing this after speaking with several Wyoming County residents who reported experiencing adverse health effects such as headaches, vertigo, dizziness, and difficulty sleeping, as well as health problems in their pets and dramatic decreases in bird migrations in their area.

The common thread: They all lived near large, industrial wind turbines, and the start of these problems coincided with the turbine installations.

Lynn Lomanto, an Orangeville resident and CSOO member, is a case in point. She attributes recent sleeping problems to operating turbines in nearby Sheldon.

"I always know when they blow," she said, "because I wake up at 1 or 2 am."

Ross has spoken with other residents of Wyoming County, a hotbed for wind turbine activity, who have reported similar ill effects in their lives.

Case in point: A married couple and their newborn baby could not sleep in their home, and the baby would be up all night crying. As soon as they moved, though, this problem went away.

Another case in point: A woman took her previously healthy dog to the vet, only to find that the dog suddenly had an aggressive form of lymphoma and had to be put down.

Ross attributes these problems to the vibrations produced by turbine propeller movement.

"(People who say that wind energy is harmless because it's natural) don't understand low frequency sound waves," Ross said. "Over time, certain degrees of vibration are not good for organic health."

While wind turbines don't really make any noise, the vibrations can disturb the silence of a rural community at night, thus interrupting people's natural sleeping patterns – which, in turn, can lead to other physical and psychological difficulties.

Given this, it is understandable that CSOO members are so concerned about the proposed Stony Creek turbines, which measure 426 feet in height and sport 164-foot-long blades.

"Elevated sound levels at night ruin the quality of life for a significant fraction of those living within one mile of a wind farm," Abraham said. "The pre-existing nighttime sound level in every rural town I have become involved in (on the wind farm issue) was 25 decibels."

Wind turbine noise, he added, can reach up to 50 decibels.

A pharmacist's perspective

Ross hopes to have her study published one day, but said that it currently lacks the "proper research investment for in-depth study."

However, she has consulted Carmen Krogh, a retired pharmacist from Ontario, Canada, in her research. Having spent three years researching and presenting on issues related to wind turbine technology, Krogh has reported findings similar to those Ross has noted in Wyoming County.

"I've done extensive interviews with people in Ontario (who have lived near industrial wind turbines)," Krogh said. "Sleep disturbance is the number one symptom, but I've also seen headaches, dizziness, vertigo, and a fair number of palpitations or cardiovascular problems."

She also mentioned reports of tinnitus and the sensation of vibration in the ears and body.

As a trained pharmacist, Krogh has been gathering data according to Health Canada's principles for monitoring suspected health problems resulting from products, medications, new technologies, etc.

She travels throughout Canada – and has been come to communities in Vermont and California as well – in order to educate people regarding the dangers and uncertainties of wind energy technology.

One of her most important recent engagements was a presentation to the Canadian Senate Committee on Energy, the Environment and Natural Resources in October. She presented peer-reviewed studies and expert statements – including statements from the World Health Organization – indicating that wind turbines can cause harm to human health if not located at a sufficient distance.

Krogh was also part of the evidence team for Canada's Environmental Review Tribunal in a recent court case in which both sides of the argument came to a consensus on the subject of wind turbines.

"We don't know the exact mechanism behind this," she said, "but both sides agreed that the symptoms people have been reporting are connected to wind turbine activity."

A total of 27 people from all over the world testified in this case. Krogh, for her part, has personally "been in touch with people internationally" on the subject – including Ross.

"(Problems caused by industrial wind turbines are) happening too much to be made up," Ross said.

Continued in "[Silent but deadly': Wind turbines in Western New York - part two](http://downtown.wgrz.com/news/environment/61301-silent-deadly-wind-turbines-western-new-york-part-two) (<http://downtown.wgrz.com/news/environment/61301-silent-deadly-wind-turbines-western-new-york-part-two>)"

Topics: [Environment \(news/environment\)](#), [Health \(news/health\)](#)

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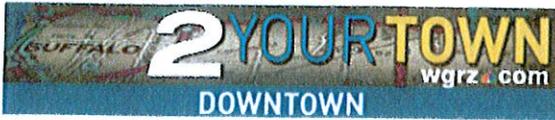
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'Silent But Deadly': Wind Turbines in Western New York - Part Two | Environment

Title (Max 100 Characters)

'Silent But Deadly': Wind Turbines in Western New York - Part Two



Submitted by [Daniel Crofts \(profile/58859/daniel-crofts\)](#), Community Blogger
Wednesday, November 30th, 2011, 11:04am

19

1

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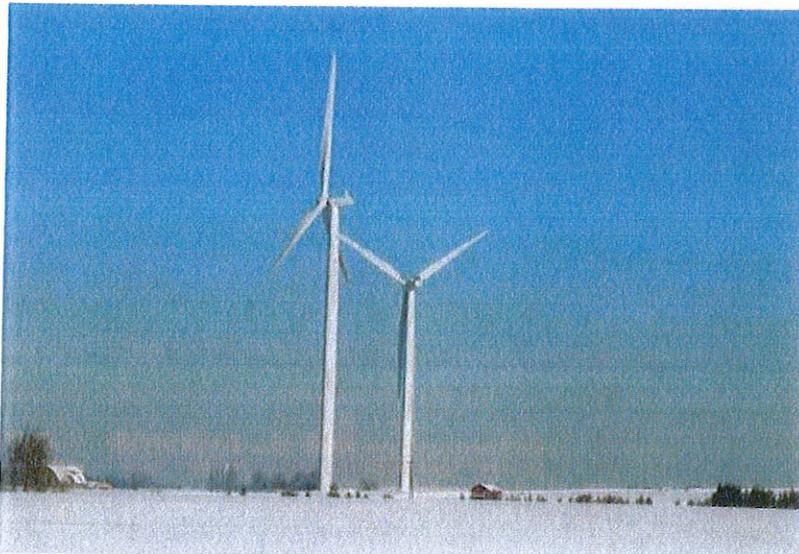


Photo courtesy of <http://concernedcitizens.homestead.com>

As the title would suggest, this is a continuation of "[Silent but deadly: Wind turbines in Western New York - part one](http://downtown.wgrz.com/news/environment/61300-silent-deadly-wind-turbines-western-new-york-part-one)" (<http://downtown.wgrz.com/news/environment/61300-silent-deadly-wind-turbines-western-new-york-part-one>)"

Need for further study and public input

Wind farms have been hurriedly implemented in many places with minimal input from citizens. What people like Ross, Krogh, and members of CSOO want is not to outlaw wind energy altogether, but to push for closer and more critical study of the technology and how it impacts people's lives and communities.

"The problem is that there is no front-end research being done," Krogh said. "We haven't taken the time to ask, 'What are these?' or 'Where should we put them?'"

Ross believes dirty, underhanded tactics on the part of the wind turbine industry to be a factor.

"People who own land (on which wind turbines are being built) are being paid hush money several times a year so that they can't be interviewed," she said. "It's real dirty."

She claimed to have learned this from the daughter of a Wyoming County landowner on whose property industrial turbines have been installed.

Similarly, Krogh cited anecdotal evidence from Ontario that people who, after suffering the effects of wind turbine activity, are forced to leave their homes are asked to agree to nondisclosure clauses, according to which they cannot talk about their negative experiences.

"They don't show these clauses to reporters because of the risk," she said.

Complicity on the part of local governments has also been a factor. Abraham, who handled a case similar to that of CSOO in the Wyoming County community of Centerville in 2009, talked a bit about his experience.

Abraham was drawn to the Centerville case by two things:

- 1) the convincing, focused arguments of Centerville citizens against the presence of wind farms in their community, and
- 2) their local representatives' overeager acceptance of the wind farm proposal.

"I was struck," Abraham said, "by the knee-jerk support for so intrusive a change . . . by the town board members, and by the special counsel they hired to help them draft a local law to accommodate the project."

Especially troubling was the fact that the town broke the law by agreeing to the project without a complete review of its consequences.

"Its special counsel advised that the local law had no adverse environmental effects," Abraham said, "and so no environmental review was required. The local law in question is like numerous local wind laws adopted by New York towns, as recommended by NYSERDA, based on no more than wind industry recommendations."

"Allowing sound levels to increase by 25 decibels," he continued, "was a significant change in the environment that should have been fully reviewed, with opportunity for public comment and a requirement that the final decision show it was the result of some meaningful research into wind turbine noise. The appeals court noted that local laws that change more than 10 acres of land are subject to environmental review, and this one would change the whole town. Therefore, failure to undertake a full review of the consequences of adopting the law was illegal."

He is encountering a similar state of affairs in Orangeville.

"For three years," Lomanto said, "citizens (of Orangeville) couldn't say anything at town board meetings about the wind turbine project."

And when they were allowed to voice their concerns, according to Lomanto, "they had to write them down." There was no guarantee that these written missives would be addressed.

What's a body to do?

Here are two pieces of advice for concerned citizens living near industrial wind turbines. The first is from Abraham, the second is from Krogh:

"Those who live nearby," Abraham said, "should consult a medical professional about the effect of low frequency and nuisance audible sound as a chronic night condition."

"Local communities should avoid divisiveness and work together," Krogh said, observing that disagreements over wind farms can cause tensions in these communities. "It's important that the municipalities are educated on this issue, because they can make a difference."

For her part, Krogh would also like to see efforts to provide financial help to those who are forced to leave their homes because of these projects and cannot afford buyouts.

For more information on CSOO, visit their website: www.csoo.info (<http://www.csoo.info>).

Topics: [Environment](#) ([news/environment](#)), [Health](#) ([news/health](#))

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D.D. Booth

6075 Samantha Lane
Clarence Center
New York
14032
deedeebooth@me.com

September 28, 2014

Town of Clarence
One Town Place
Clarence, NY 14031
Zoning Board of Appeals ZBA

RECEIVED

SEP 30 2014

ZONING OFFICE

Dear Ladies and Gentlemen,

It is my understanding that there is an additional request by Trippie/Thompson, of Thompson Greenhouses for a height variance for a wind turbine. There is **striking** research findings regarding residential communities and audible noise from wind turbines.

Highlighting a few key themes from research, I'll offer just a quick run through of what I see as the important themes which offer useful insight as to the negative impact of turbine noise for the surrounding residential community of: Clarence Center road, west of Shimerville, Amber Meadows, Ranch Trail, Shimerville, and surrounding residents to the north of the adjoining bike path.

- It has been known that wind turbine sound triggers higher rates of annoyance than other sources of community noise, such as roads or airports, with wind turbine sound unpredictability and variability considered the primary driver of this difference.
- Turbine sound often pulse at "once per second," making it more attention grabbing and harder to ignore than a steady background sound, but it comes and goes at all hours of the day and night.
- Radically differing sounds of turbines in differing situations, turbine sound is often thought of as being that of a gentle swooshing. (at times punctuated by pulses in swoosh) Neighbors who live within less than one mile, report that turbines make knocking, banging, or tumbling sounds; a widespread description is that of sneakers in a clothes drier.
- At times palpable waves of lower frequency sounds are said to penetrate into homes and at times are felt in the body.

- As noted, wind flowing into turbines is not always smooth and consistent, inflow turbulence tends to create increased low frequency sound as well as unpredictable bursts of other sounds/ noise. These intrusive and bothersome sounds are potentially associated with times of more air turbulence hitting the turbine blades. We live in an area where rapidly shifting weather conditions lead to more dramatic surges and variation in turbine noise levels. In winter, when everything is still, clouds are low, sound travels especially well!
- Turbine blades become worn, with small picks and pits that can interfere with air flow around the blades and create more turbulence and noise on the trailing edges of blades.
- Turbines turning close to full speed (about 20 rpm, or one blade passing vertical each second) have always been audible out to at least a half mile.
- Ice adherence to turbine blades adds not only to inconsistent rotation, but also wind shear causes ice to be thrown considerable distances. (flying ice sickles)

In Vinalhaven, Maine the manufacturer added serrated edges to blades, experimenting with ways to reduce turbine noise, in high wind conditions it exacerbated the throbbing and pulsing sounds. In Falmouth, Mass. Night time shutdowns were demanded by nearby residents, reducing impacts temporarily. Massachusetts Clean Energy Center along with State DEC have engaged in short term noise monitoring.

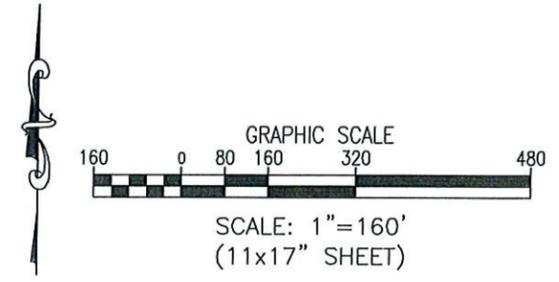
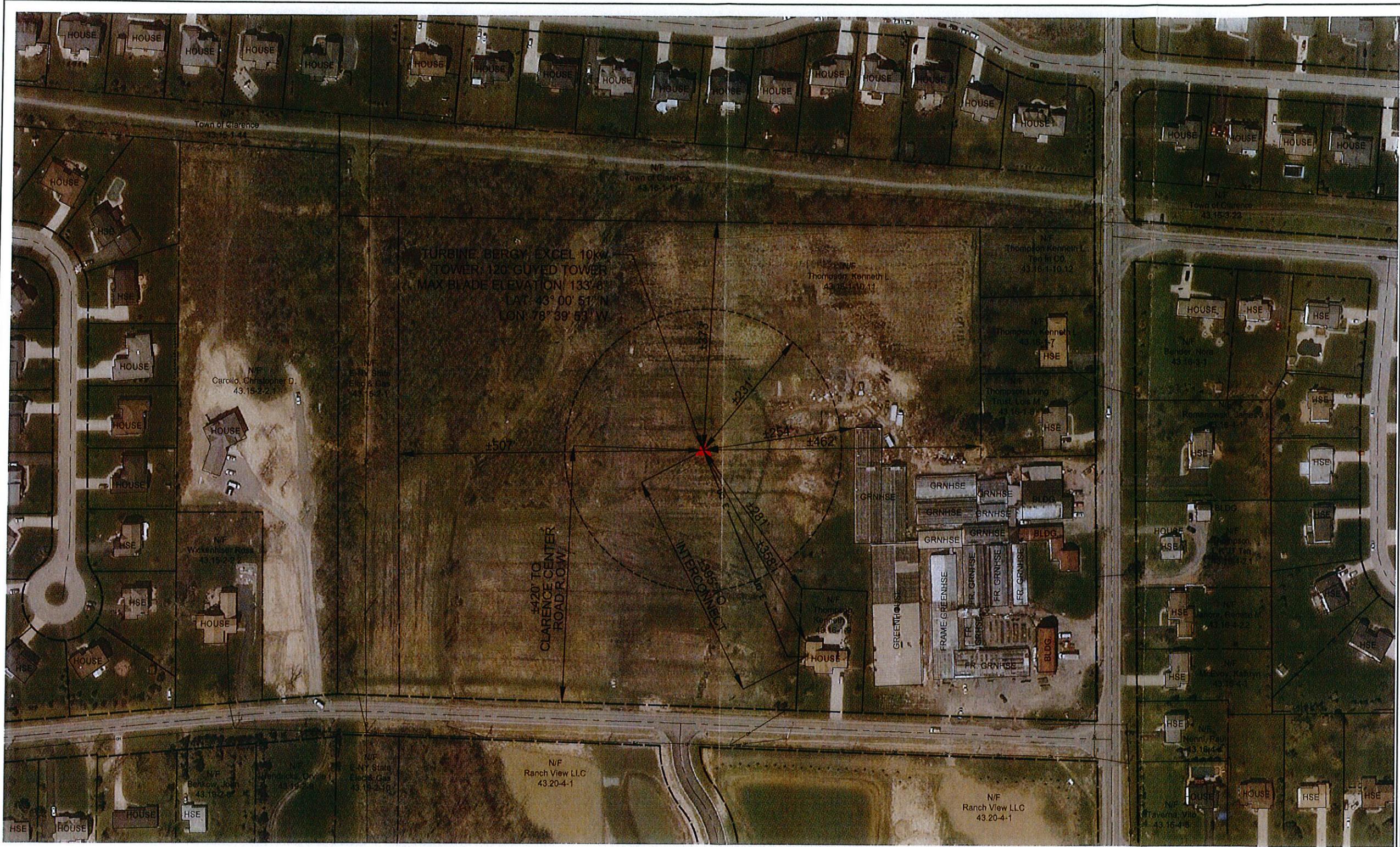
In closing, a deeper, more difficult question, "is it acceptable to create negative impacts on some portion of the community?"

Respectfully Submitted,

Dee Dee Booth

*As cited above, in Maine and Massachusetts, for neighbors, noise and health concerns from turbines are real experiences.

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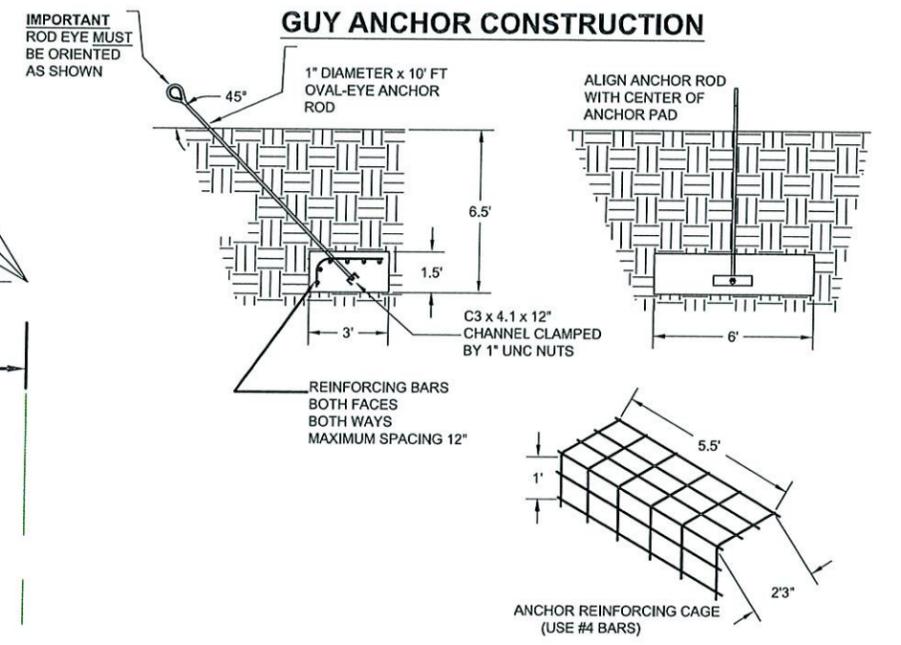
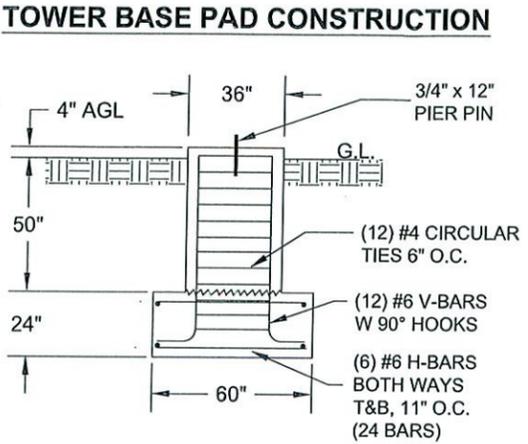
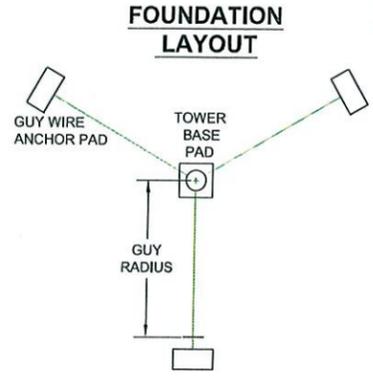
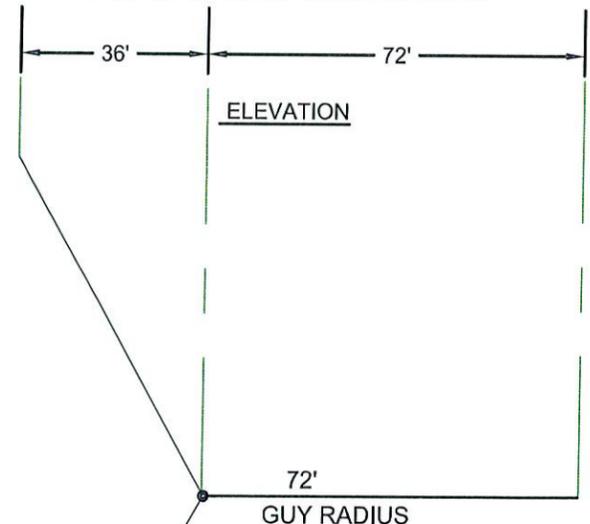
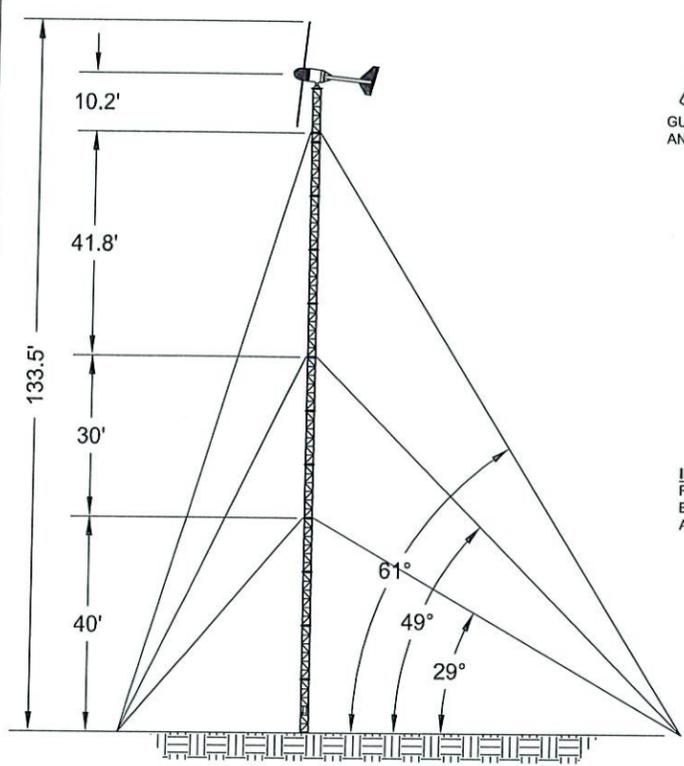
	ROAD CENTERLINE
	RIGHT-OF-WAY LINE
	PARCEL LINE
	VILLAGE BOUNDARY LINE
	EXISTING BUILDING
	ELECTRIC CONDUIT
	EXISTING OVERHEAD UTILITY LINES

NOTES:

1. THIS MAP WAS CREATED USING AERIAL IMAGES AND TAX MAP DATA, NOT AN ACTUAL FIELD SURVEY. LOCATIONS OF PROPERTY LINES, ROADS, STRUCTURES, ETC. ARE APPROXIMATE.
2. LOCATION OF PROPOSED FACILITY (EXCLUDING PROPOSED TURBINE) ARE APPROXIMATE AND BASED ON SKETCH PROVIDED BY OWNER.

SITE DATA
 TAX MAP NO. 43.16-1-10.11
 LOT SIZE: 18.9± ACRES

<p>FISHER ASSOCIATES WWW.FISHERASSOCIATES.COM</p>																																	
PROJECT: CEC ENERGY THOMPSON BROTHERS 8850 CLARENCE CENTER RD CLARENCE CENTER, NY 14032	TITLE OF DRAWING: SITE PLAN																																
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Foundation Notes:

1. Concrete: 2500 psi minimum ultimate strength
2. Anchors: ASTM A-615 Grade 40 deformed reinforcing bars, 1/2" minimum diameter, two faces, both ways, 12" O.C. maximum spacing
3. Base foundation: ASTM A-615 Grade 60
V-bars: 3/4" diameter, 9" hook
H-bars: 3/4" diameter both ways top & bottom, 11" spacing
Circular ties: 1/2" diameter, 6" spacing
4. Minimum concrete cover on all reinforcing bar 3" except top of pier where it is 2".
5. Compact fill in 8" lifts to minimum 100 psf
6. Water table below all concrete at all times
7. Soil bearing strength 2000 psf minimum
8. Tower base foundation must extend below frost depth.

Electrical Wiring Specification

Tower Wiring:
3 x #6 AWG MC Armored Cable

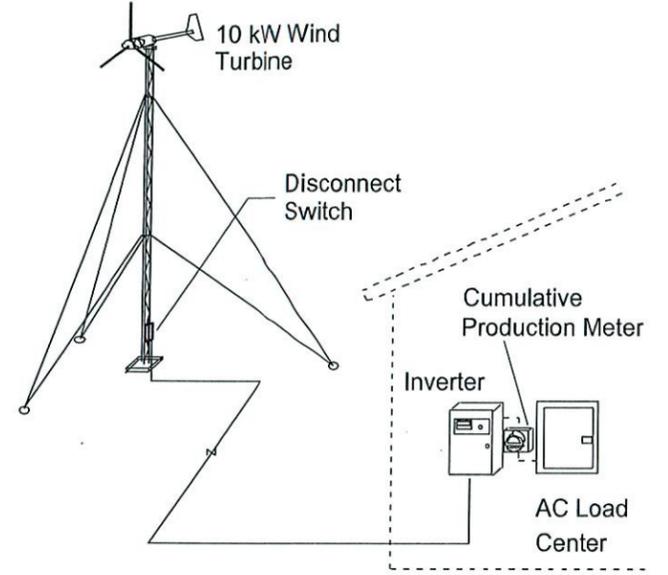
Safety Switch:
60A 600V 3-pole Fusible
NEMA Type 3R Rainproof
Serves as lockable disconnect
3 @ 45A Fuses Type FRS-R-45
Delta LA603 3-Phase Surge Arrestor

Grounding:
3 @ 8' copper-clad ground rods
1 rod per tower leg
#2 AWG bare 7-strand ground cable
#8 bare solid bond wire between tower base ground rod and inverter / utility ground

Wire Run:
Consult BWC tables for wire size based on length of wire run. Underground conductors and bond wire must be housed in conduit. Minimum conduit burial depth is 18".

Inverter:
PowerSync II, UL listed

Load Panel:
2-Pole, 240V, 60A breakers, dedicated



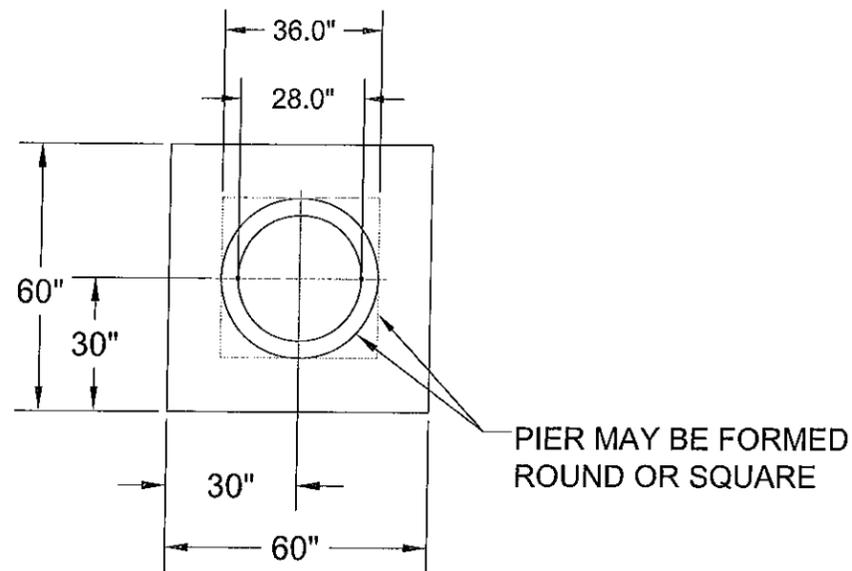
Material Specifications

1. Tower Legs: ASTM A529 Grade 50
Minimum yield stress 50,000 psi
2. Tower Flanges: ASTM A572 Grade 50
Minimum yield stress 50,000 psi
3. Tower Braces: ASTM A529 Grade 50
Minimum yield stress 50,000 psi
4. Tower Bolts: ASTM A325 construction grade
Minimum tensile stress 120,000 psi
Minimum yield stress 92,000 psi
5. Turbine attachment bolts ASTM A307
6. Anchor Rods: A. B. Chance 1" Oval-eye
Minimum tensile strength 36,000 lb

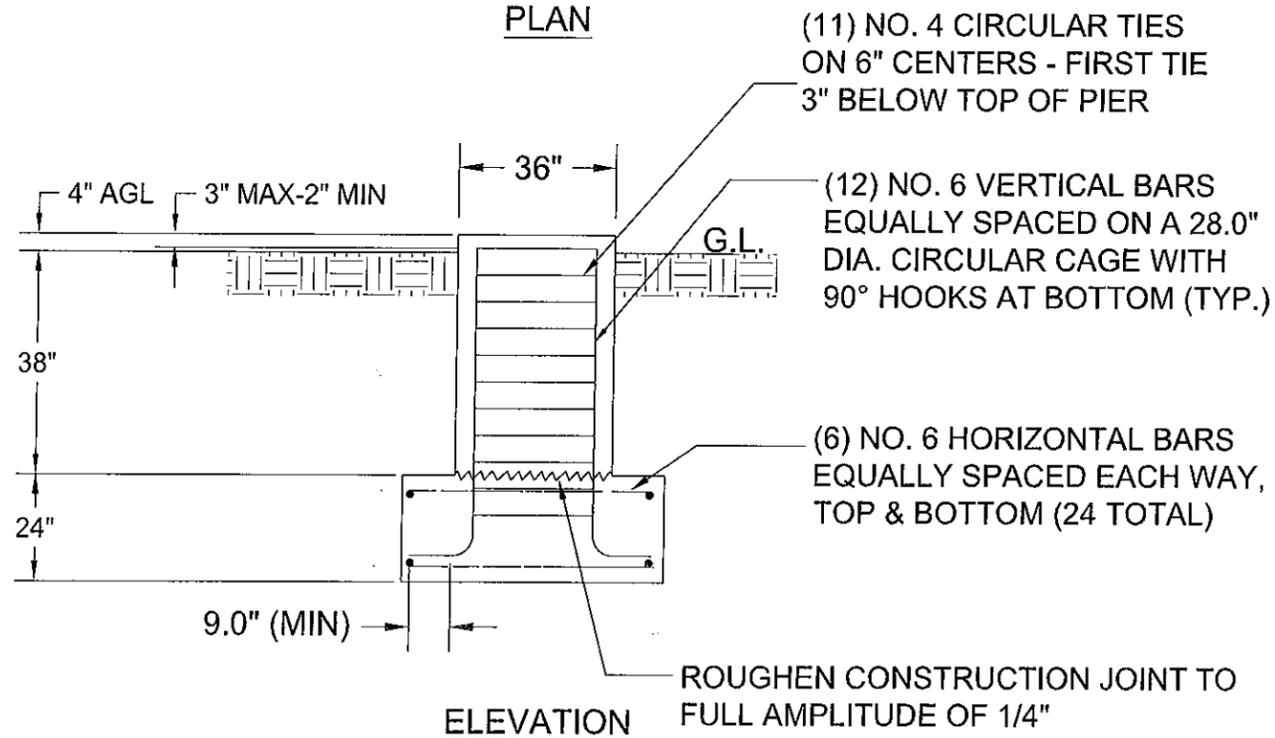
Design Criteria

1. IBC-2006 and EIA-TIA-222G compliant
2. Tower Design Wind Speed: 120 mph
3. Rotor Thrust: 2400 lb max
4. Turbine Weight: 1200 lb
5. Maximum Torque: 250 ft-lb @ 300 rpm
6. Furled Moment: 875 ft-lb
7. Ice accumulation as noted in analysis
8. Maximum frost depth 70 inches

BERGEY WINDPOWER	
DRAWN K.G.C. 08-27-2009	TITLE SUMMARY SHEET 10 kW ON GL18-120 TOWER
CHECKED M.B. 08-27-2009	
APPROVED	DWG NO.
SCALE NONE	PP14-XL-GL18-120



PLAN



ELEVATION

PIER MAY BE FORMED ROUND OR SQUARE

(11) NO. 4 CIRCULAR TIES ON 6" CENTERS - FIRST TIE 3" BELOW TOP OF PIER

(12) NO. 6 VERTICAL BARS EQUALLY SPACED ON A 28.0" DIA. CIRCULAR CAGE WITH 90° HOOKS AT BOTTOM (TYP.)

(6) NO. 6 HORIZONTAL BARS EQUALLY SPACED EACH WAY, TOP & BOTTOM (24 TOTAL)

ROUGHEN CONSTRUCTION JOINT TO FULL AMPLITUDE OF 1/4"

NOTES:

1. MINIMUM CONCRETE COVER 3 IN UNLESS OTHERWISE NOTED
2. MINIMUM BEND DIAMETER FOR HOOKS IS 12 BAR DIAMETER.

CONCRETE VOLUME: 2.8 CU YD (ROUND)
3.0 CU YD (SQUARE)

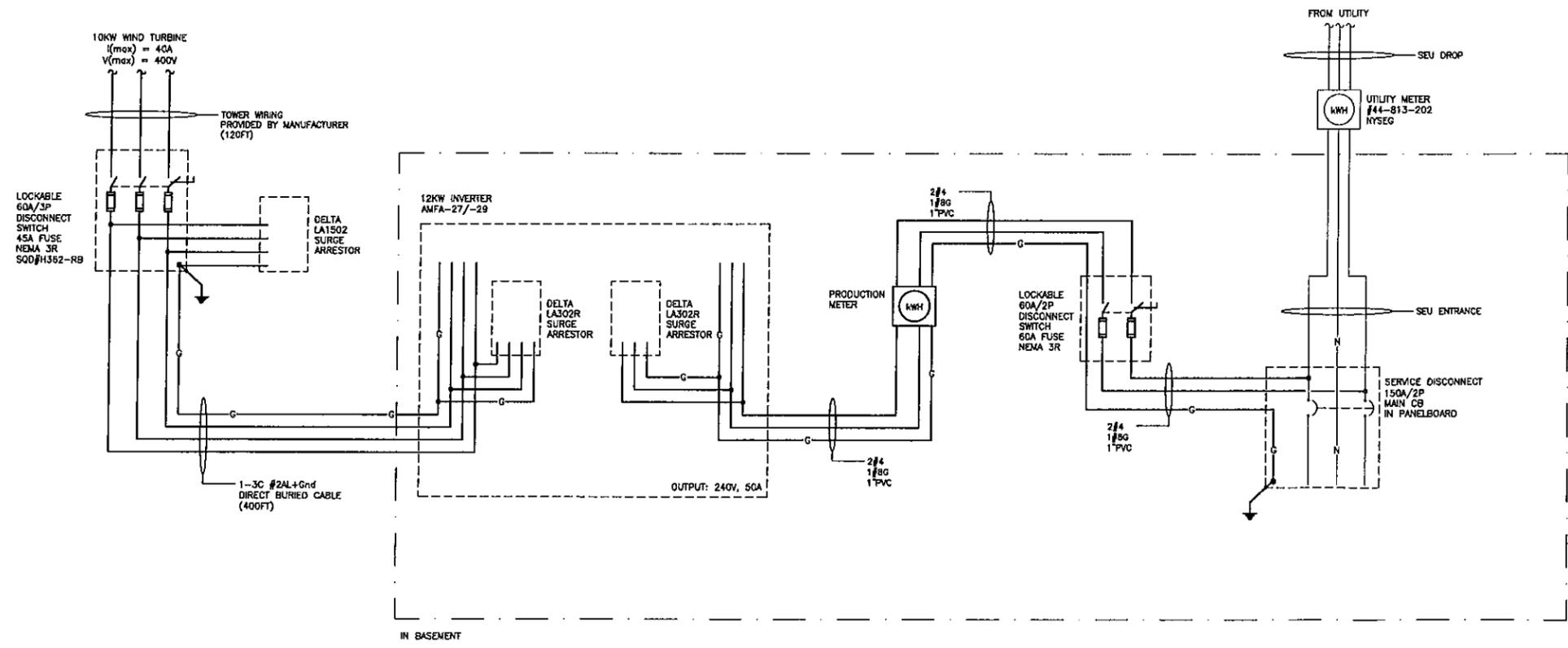
CODE FROST DEPTH: 60 INCH
(ADJUST PIER HEIGHT FOR LOCAL FROST DEPTH)

B	36" was 30"; 28" was 22.5"; No. 6 v-bars were No. 5	K. G. C. 10-21-2008	
A	#6 HORIZONTAL BARS WERE #5.	K. G. C. 09-12-2008	
LTR	REVISION BY APP'D		

BERGEY WINDPOWER		
DRAWN K. G. C. 10-21-2007	TITLE PIER-PAD FOUNDATION GL TOWERS	
CHECKED	DWG NO.	
APPROVED	PPGL-SED	B
SCALE NONE		

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER AN ITEM ON THIS DOCUMENT IN ANY WAY. TITLE 19, PART 69.5 (b)

THOMPSON BROS
 WIND ENERGY PROJECT
 8820 CLARENCE CENTER RD
 CLARENCE CENTER, NY 14032



WIND TURBINE LINE DIAGRAM

No.	REVISION	DATE
0	For Review	7-23-14

PROJECT NUMBER:	14916
DESIGNED BY:	MDP
DRAWN BY:	ADL
CHECKED BY:	MDP
DATE ISSUED:	07-23-14

DRAWING TITLE:
**ELECTRICAL
 LINE
 DIAGRAM**

DRAWING NUMBER:
E3-1

REQUEST FOR ACTION BY:
TOWN OF CLARENCE, N.Y.

- Appeal Board
- Planning Board
- Town Board

- Appeal
- Rezone
- Revise Ordinance
- Subdivision
- Limited Use Permit
- Other

Rec'd. by: Jonathan Bleuer
 Date September 9, 2014

Action Desired Applicant requests a variance to allow for the construction of a detached garage located within the front yard setback at 8630 Sheridan Drive. Principle structure is located within the Restricted Business zone.

Reason Town Code Reference:
§229-78(B)

Double D PLEASE PRINT

Name	<u>DD Enterprise</u>		
Address	<u>8630 Sheridan Drive</u>		
	<u>Williamsville</u>	<u>NY</u>	<u>14221</u>
Town/City	<u>867-8422</u>	State	Zip
Phone			
Signed	<u>SIGNATURE ON FILE</u>		

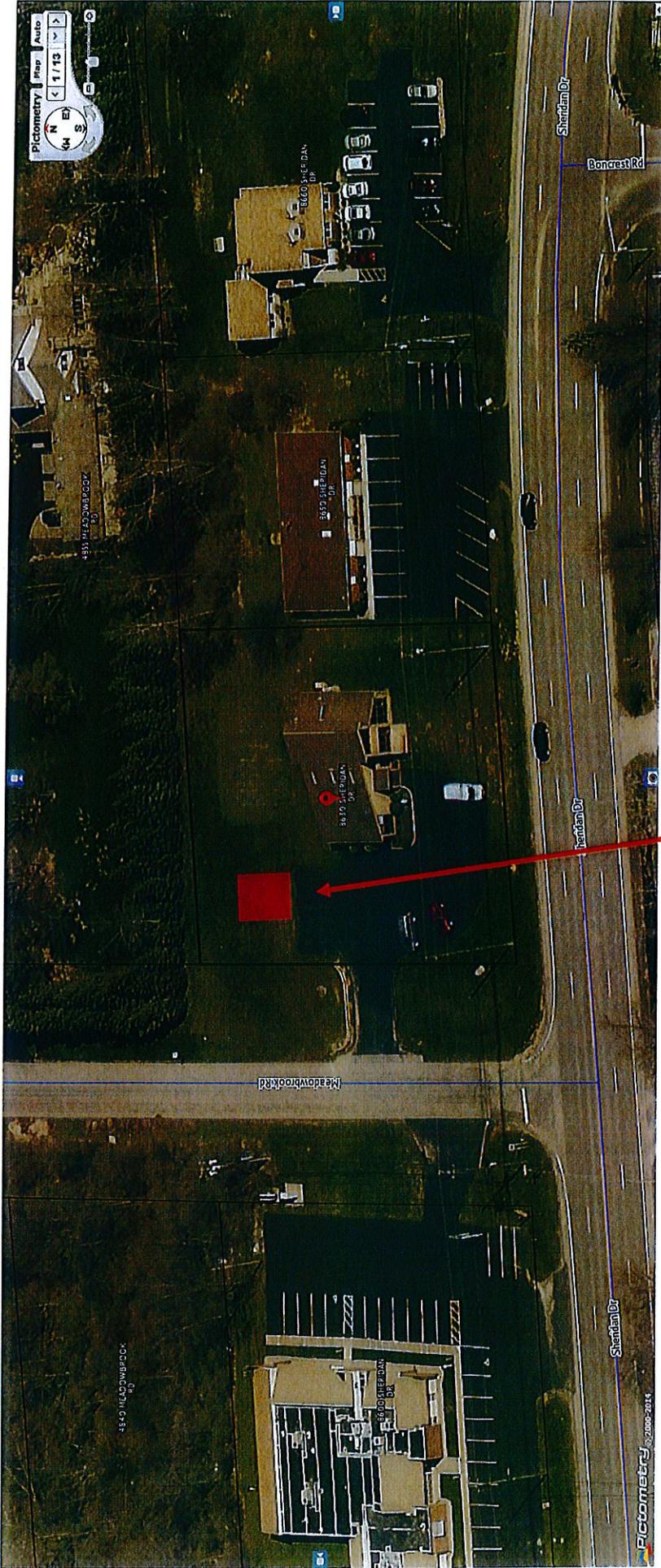
Requests for action on zoning should be filled out completely in above spaces if practicable; otherwise give brief description and refer to attached papers. The complete request with all necessary plans, maps, signatures, should be filed with the Secretary of the Planning Board. Requests (except appeals) may be filed with the Town Clerk or Town Board, but will generally be referred to Planning Board with subsequent loss of time.

Initial Action

- Approved
- Rejected by on 19
- Approved
- Rejected by on 19
- Published (Attach Clipping) on 19
- Hearing Held by on 19

Final Action Taken

- Approved
- Rejected by on 19
- Published (Attach Clipping) on 19
- Filed with Town Clerk on 19
- Filed with County Clerk on 19



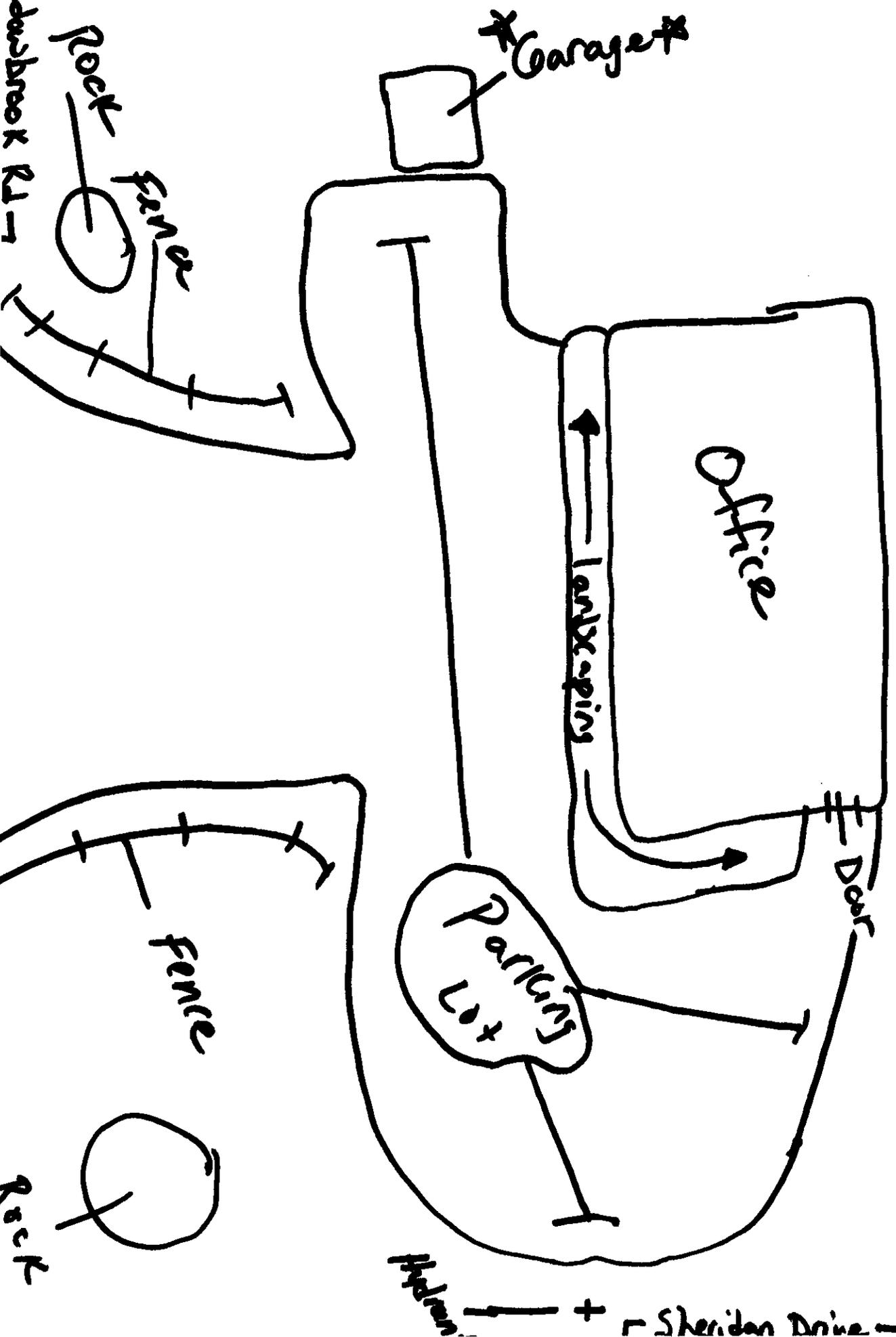
* note the parcel lines displayed are approximate

8630 Sheridan Drive

Proposed detached garage

352 sq. ft. (16'x22')

8630 Sheridan Drive
Double D Enterprise



8630 Sheridan Drive
DOUBLE D ENTERPRISE

Garage



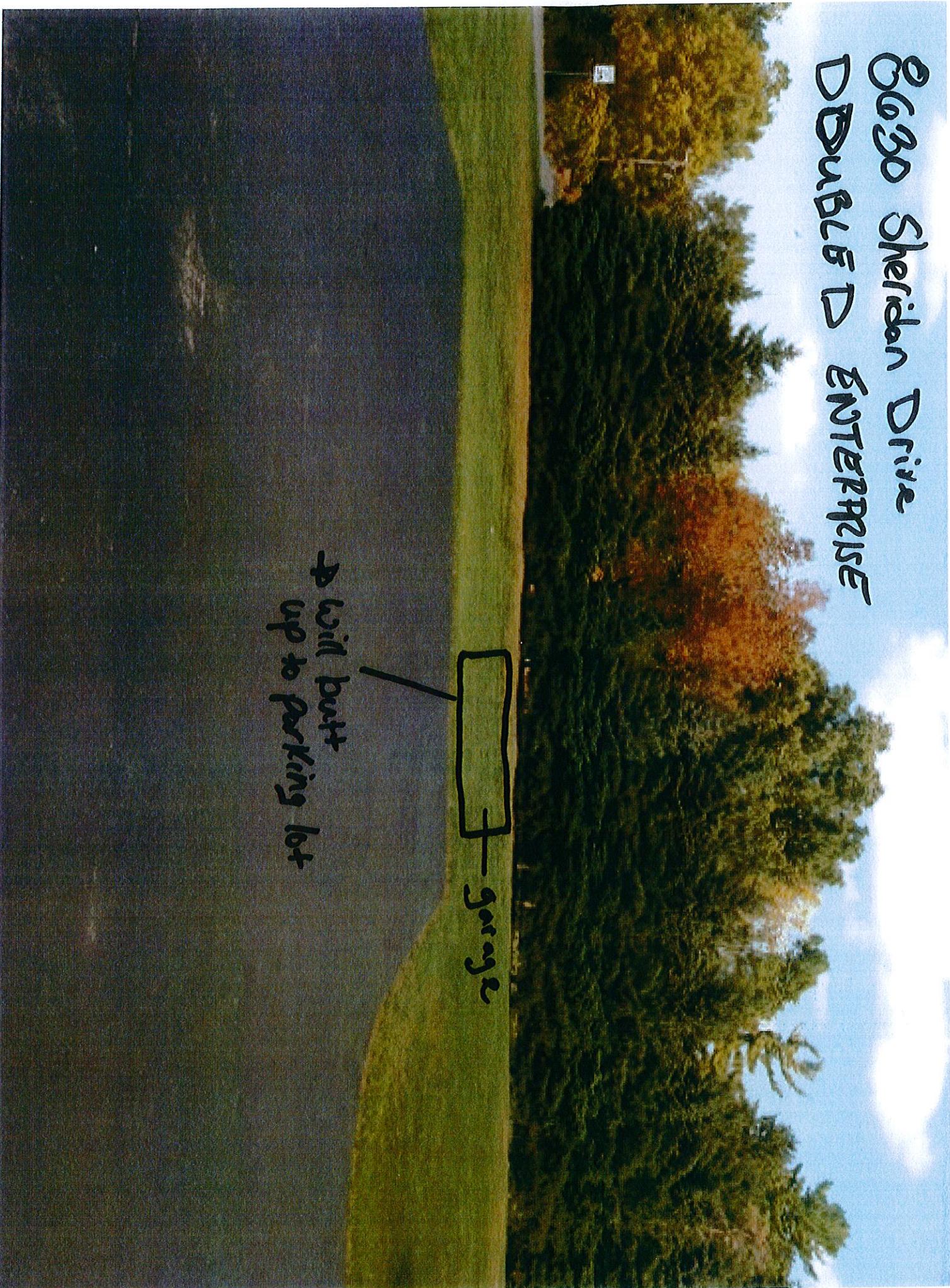
8030 Sheridan Drive
Dundee, IL Enterprise



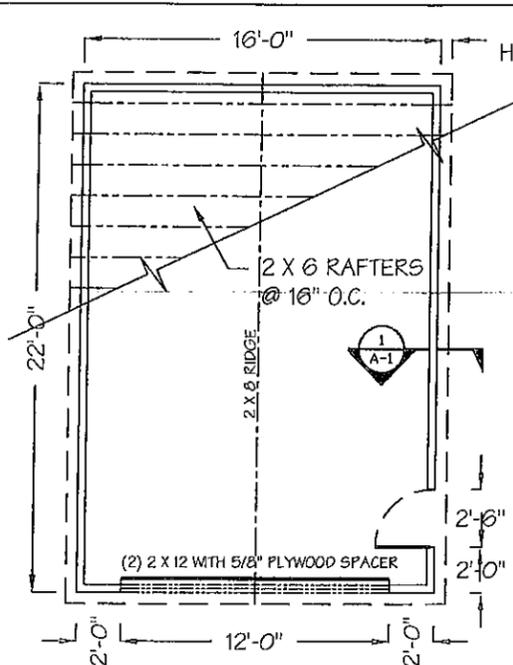
8630 Sheridan Drive
DUBUQUE ENTERPRISE

garage

will built
up to parking lot



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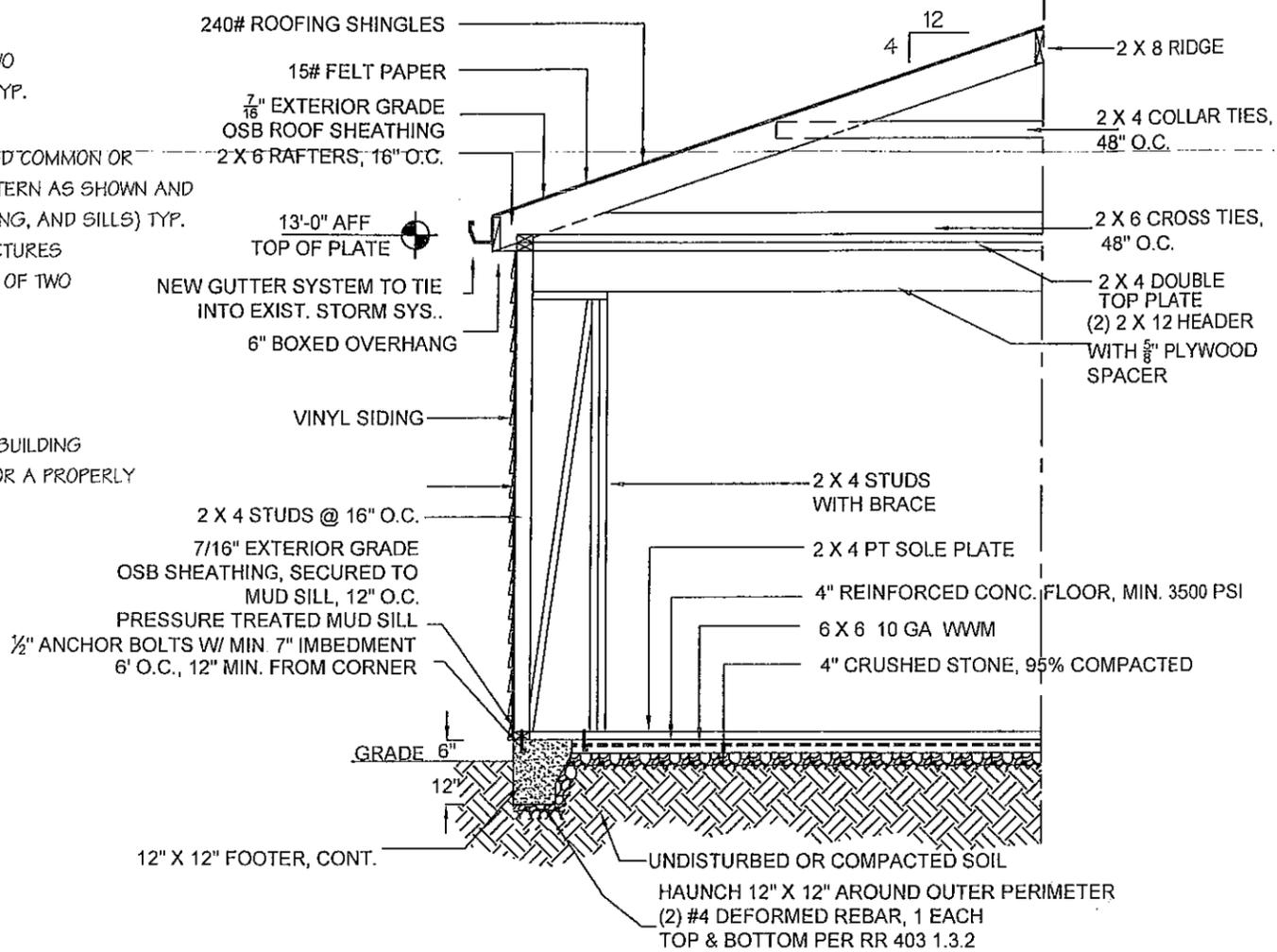


FLOOR PLAN
SCALE: 1/8" = 1'-0"

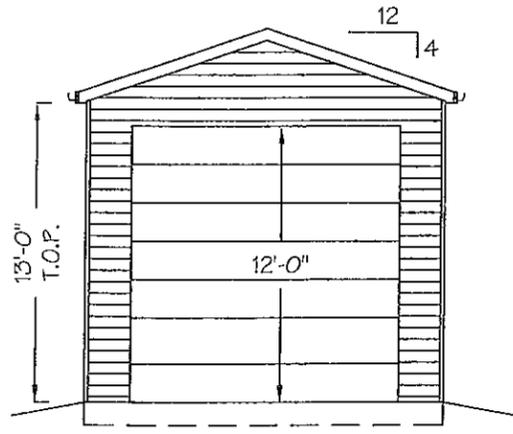
NYS BUILDING CODE DESIGN CONDITIONS:
EXPOSURE "B"
SOIL BEARING 1500 PSF
SNOW LOAD 50 PSF
WIND: HORIZ. 20 PSF
VERT. 10 PSF
UPLIFT 16 PSF

NOTE: NEW YORK STATE CODE:
FASTEN TOP PLATE TO HEADER WITH TWO ROWS OF 16D SINKER NAILS AT 3' O.C. TYP.
1000 LB STRAP OPPOSITE SHEATHING
FASTEN SHEATHING TO HEADER WITH 3D COMMON OR GALVANIZED BOX NAILS IN 3" GRID PATTERN AS SHOWN AND 3" O.C. IN ALL FRAMING (STUDS, BLOCKING, AND SILLS) TYP.
MIN. WIDTH + 16" FOR ONE STORY STRUCTURES
MIN. WIDTH = 24" FOR USE IN THE FIRST OF TWO STORY STRUCTURES.
MIN. 2 X 4 FRAMING
3/8" MIN. THICKNESS WOOD STRUCTURAL PANEL SHEATHING
CONTRACTOR IS RESPONSIBLE FOR ALL BUILDING BEARING / SUBSURFACE CONDITIONS FOR A PROPERLY CONSTRUCTED STRUCTURE.

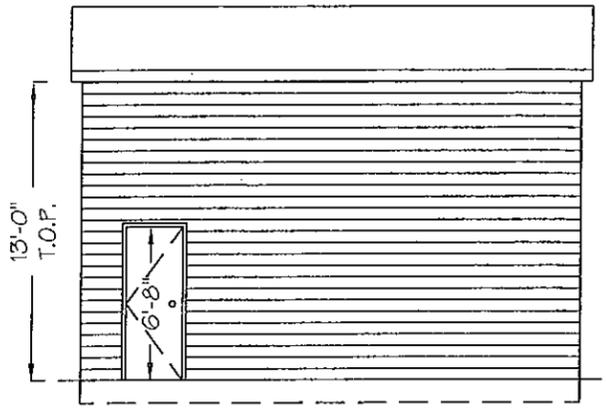
LUMBER SPECIES
SOUTHERN PINE #2
MIN. Fb = 1250 PSI



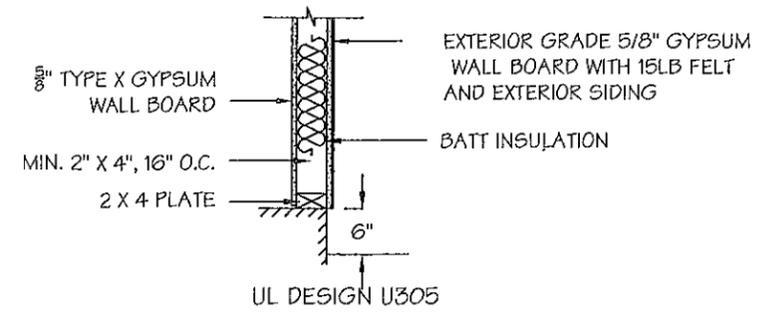
GARAGE CROSS SECTION
SCALE: N. T. S.



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



SIDE ELEVATION
SCALE: 1/8" = 1'-0"



SECTION
SCALE: 1/2" = 1'-0"

ITEM	DATE	REVISION

GARAGE
8630 SHERIDAN DR.
WILLIAMSVILLE, NY

FLOOR PLAN & SECTION

JAMES ALLEN RUMSEY ARCHITECT
5729 EAST RIVER ROAD
GRAND ISLAND, NEW YORK 14072



F.J. WAILAND ASSOCIATES INC.
Construction Management
3922 Seneca Street
West Seneca, New York 14224
(716) 676-9515

PROJECT NO.	###	SHEET NO.
DRAWN BY:	cdh / maw	A-1
DATE:	11 SEP 2014	
SCALE:	1/8" = 1'-0"	

REQUEST FOR ACTION BY:

TOWN OF CLARENCE, N.Y.

- Appeal Board
- Planning Board
- Town Board

- Appeal
- Rezone
- Revise Ordinance
- Subdivision
- Limited Use Permit
- Other

Rec'd. by: Jonathan Bleuer

Date September 23, 2014

Action Desired Applicant requests a variance of 40 sq. ft. to allow for the construction of a 240 sq. ft. detached accessory structure located at 6242 Cloverleaf Drive.

Principle structure is located within the Residential Single Family zone.

Reason Town Code Reference:

§229-55 (H)

PLEASE PRINT

Name	James L. Warner		
Address	6242 Cloverleaf Drive		
	East Amherst	NY	14051
Town/City		State	Zip
Phone	868-8774		
Signed	SIGNATURE ON FILE		

Requests for action on zoning should be filled out completely in above spaces if practicable; otherwise give brief description and refer to attached papers. The complete request with all necessary plans, maps, signatures, should be filed with the Secretary of the Planning Board. Requests (except appeals) may be filed with the Town Clerk or Town Board, but will generally be referred to Planning Board with subsequent loss of time.

Initial Action

Approved Rejected by on 19

Approved Rejected by on 19

Published (Attach Clipping) on 19

Hearing Held by on 19

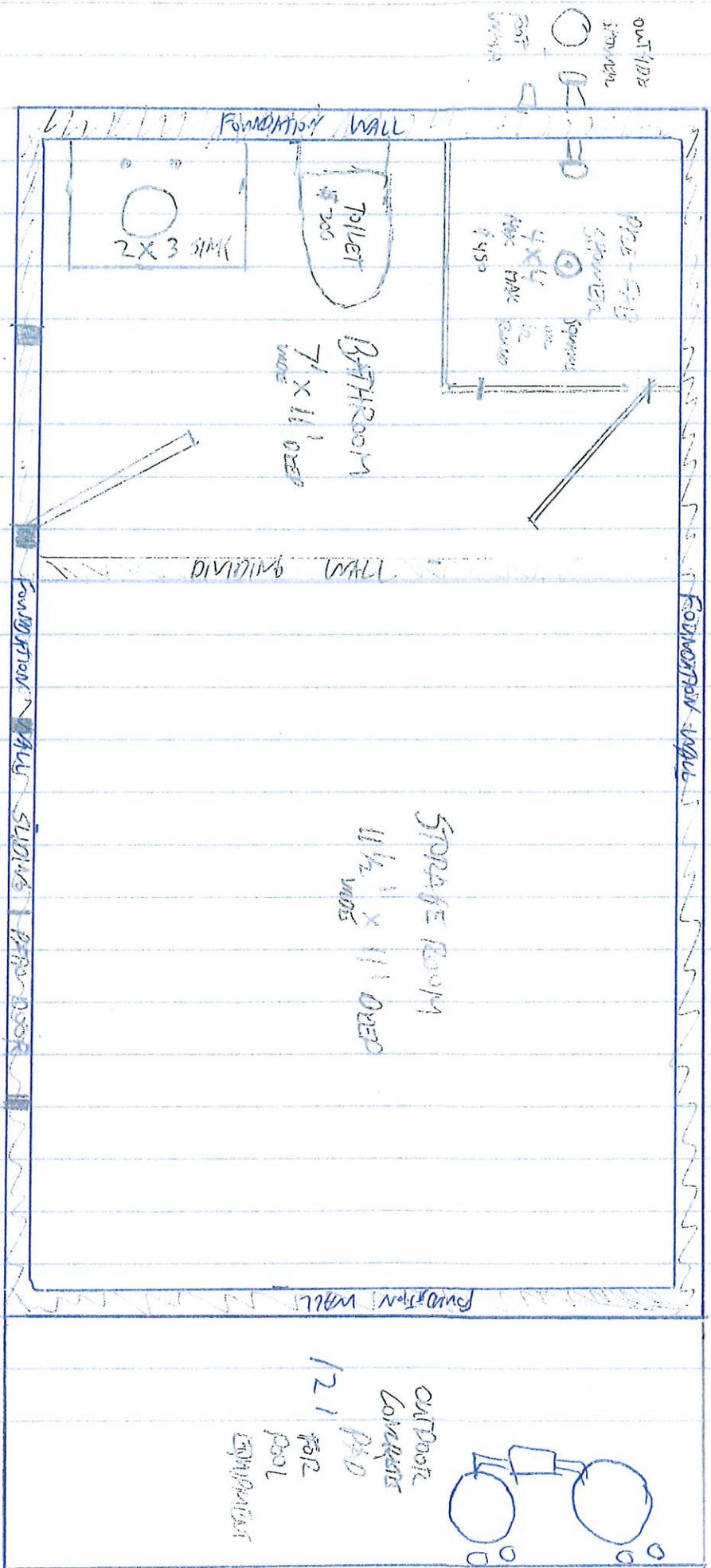
Final Action Taken

Approved Rejected by on 19

Published (Attach Clipping) on 19

Filed with Town Clerk on 19

Filed with County Clerk on 19



1 CM = 1 FOOT

20'

41'

121'

41'

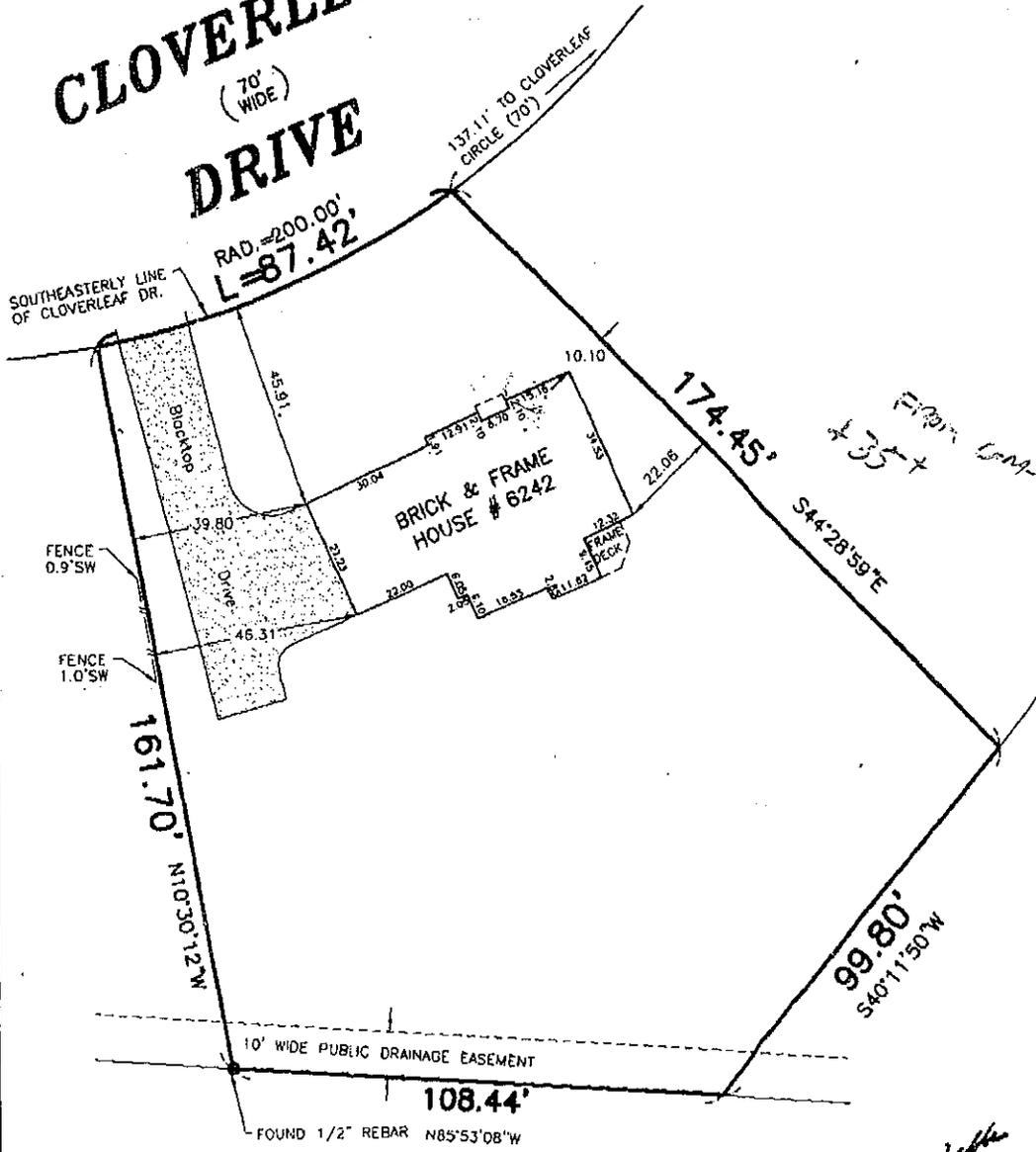
Feet Inches
 0.06 - 1/4"
 0.17 - 3"
 0.25 - 4"
 0.33 - 4"
 0.42 - 5"
 0.50 - 5"
 0.58 - 7"
 0.67 - 8"
 0.75 - 9"
 0.83 - 10"
 0.92 - 11"
 1.00 - 12"

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH



CLOVERLEAF DRIVE

(70' WIDE)



From Cont. 435+

Bernard S. Walker

LOCATION: TOWN OF CLARENCE	SCALE: 1" = 30'	Folt-Albert Associates Architecture, Engineering and Surveying, P.C. 763 Main Street, Buffalo, New York 14203 SUCCESSOR TO THE RECORDS OF CHARLES E. DENVER PHONE: (716) 856-3933 FAX: (716) 856-3961
COUNTY OF ERIE, STATE OF NEW YORK	DRAWN BY: KMS	
PART OF LOT 2, SECT. 15, TOWNSHIP 12, RANGE 6	CHECKED BY: B. E. WELLS	<small>Unauthorized alteration or addition to any survey, drawing, design, specification, plan or report is a violation of Section 7709, Paragraph 2 of the New York State Education Law. Only copies from the original of this survey may be used with an original of the land owner's endorsed and signed copy shall be considered to be valid true copies.</small>
MAP COVER: 2592	RESURVEY: 8/11/03	
SUBLOT(S): 166	NO COR. MON. SET	<small>Copyright Folt-Albert Associates, all rights reserved. No portion of this drawing may be reproduced, stored or transmitted by any means without prior written permission of the architect, engineer or surveyor.</small>
REVISIONS:		
DATE: JULY 18, 2002	JOB No.: 03-26406	

REQUEST FOR ACTION BY:
TOWN OF CLARENCE, N.Y.

- Appeal Board
- Planning Board
- Town Board

- Appeal
- Rezone
- Revise Ordinance
- Subdivision
- Limited Use Permit
- Other

Rec'd. by: Jonathan Bleuer
Date September 29, 2014

Action Desired Applicant requests a variance of 21.5' to allow for a 28.5' front yard setback for a proposed addition to an existing single family residence located at 5030 Ledge Lane.

Principle structure is located within the Residential Single Family zone.

Reason

Town Code Reference:

§229-52 (A)

Map Covered front yard setback: 50'

PLEASE PRINT

Name	Craig Roesch		
Address	5030 Ledge Lane		
	Williamsville	NY	14221
Town/City		State	Zip
Phone	912-4299		
Signed	SIGNATURE ON FILE		

Requests for action on zoning should be filled out completely in above spaces if practicable; otherwise give brief description and refer to attached papers. The complete request with all necessary plans, maps, signatures, should be filed with the Secretary of the Planning Board. Requests (except appeals) may be filed with the Town Clerk or Town Board, but will generally be referred to Planning Board with subsequent loss of time.

Initial Action

Approved Rejected by on 19

Approved Rejected by on 19

Published (Attach Clipping) on 19

Hearing Held by on 19

Final Action Taken

Approved Rejected by on 19

Published (Attach Clipping) on 19

Filed with Town Clerk on 19

Filed with County Clerk on 19



21



Proposed garage addition

Proposed master bedroom addition

Map Cover defined front yard setback = 50'

* note the parcel lines displayed are approximate

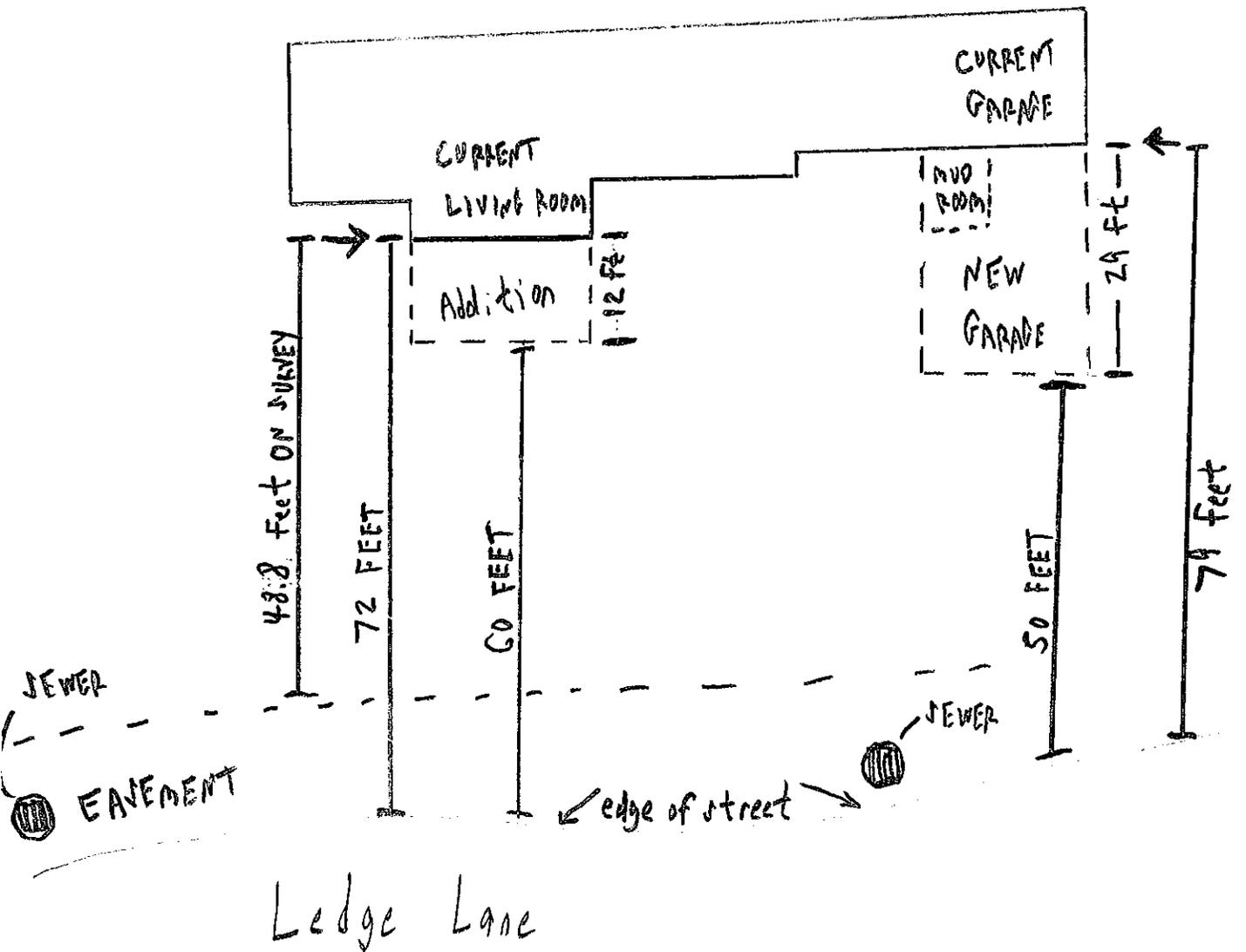
5030 Ledge Lane

Notes for Variance Board

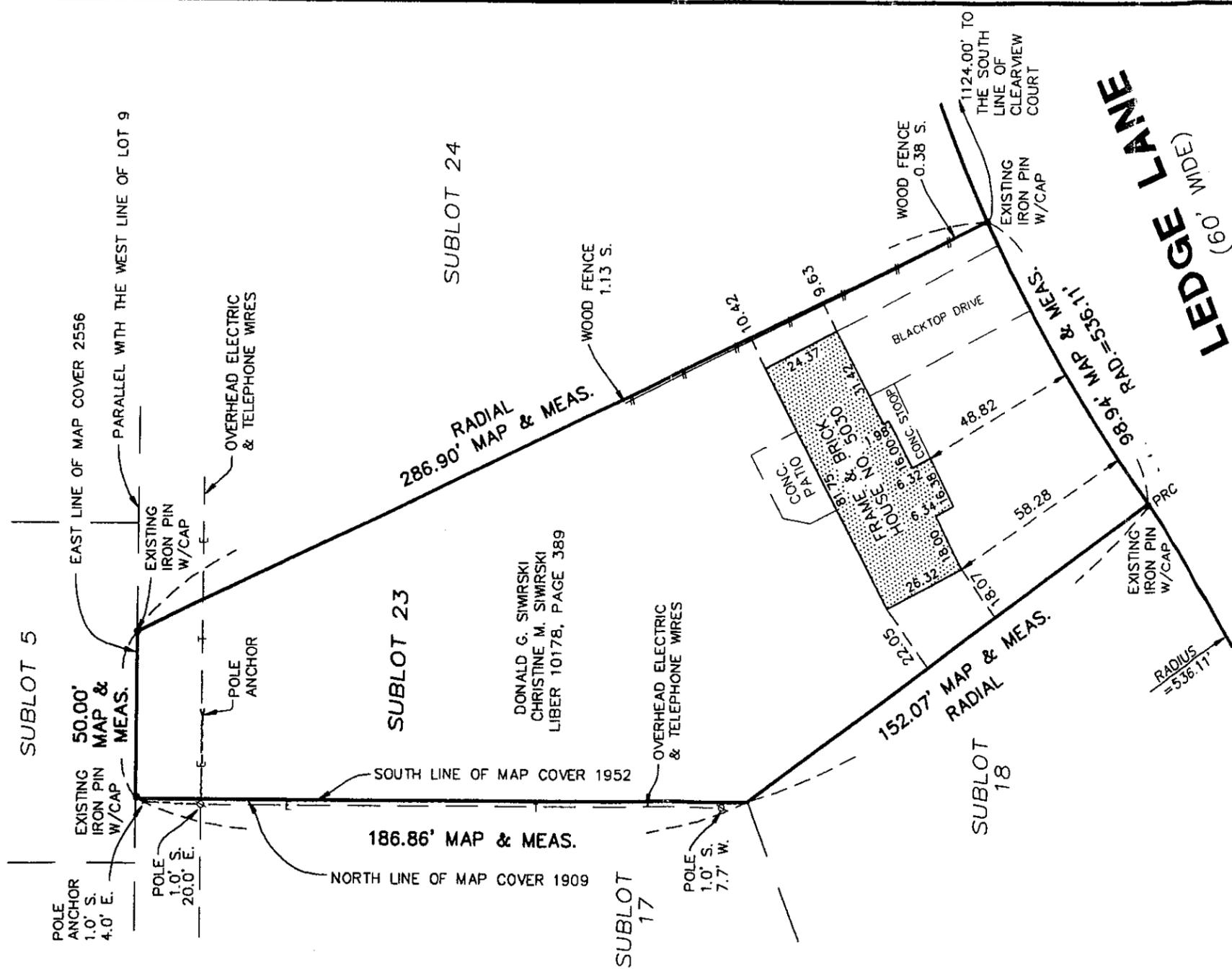
Re: 5030 Ledge Lane

Please note that the official survey shows a distance of 48.82 feet to the edge of the property from the front living room. As you know, the edge of the property would be the easement on the side of the road that contains the storm sewer drain, etc. Our measurement currently shows a distance of 72 feet to the edge of the street which would make the addition of 12 feet on the living room to be 60 feet from the edge of the street. Also, the current façade of the front of the garage is 79 feet from the edge of the street. Therefore, an addition to the garage of 29 feet would still be 50 feet from the edge of the street.

Please see quick drawing below:







DONALD G. SIWIRSKI
CHRISTINE M. SIWIRSKI
LIBER 10178, PAGE 389

MAP REFERENCE - SUBLOT 23, "LEDGEVIEW, PART II", MAP COVER 1952

APEX CONSULTING
SURVEY & ENGINEERING SERVICES, P.C.

SURVEYING • ENGINEERING • LANDSCAPE ARCHITECTURE
102 EAST AVENUE, LOCKPORT, NEW YORK 14094
Phone: (716) 439-0188 FAX: (716) 439-0189

NOTE: UNAUTHORIZED ALTERATIONS TO THIS MAP ARE IN VIOLATION OF SEC. 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

SURVEY OF PART OF:

LOT -	9	LOCATION -	TOWN OF CLARENCE
SECTION -	14	COUNTY -	ERIE
TOWNSHIP -	12	STATE -	NEW YORK
RANGE -	6	CITY -	
TRACT: HOLLAND LAND COMPANY'S SURVEY			
DATE:	3/13/06	JOB NO.	061041
SCALE:	1" = 40'	RESURVEY:	
SBL NO. -	70.06-1-12		

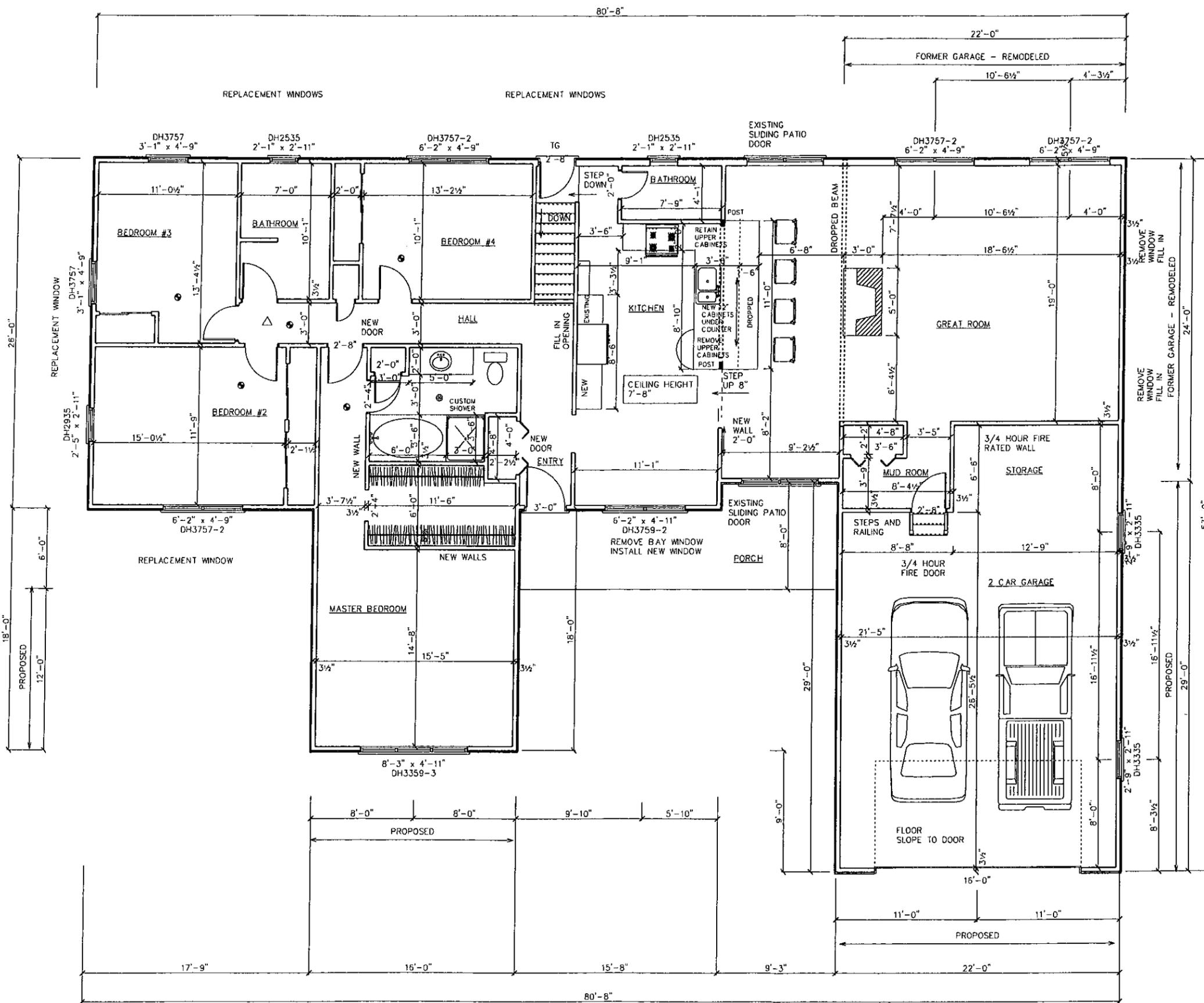
REVISIONS:

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AND ABSTRACT OF TITLE, AND IS SUBJECT TO ANY INFORMATION DERIVED BY AN EXAMINATION OF THE SAME.

NOTE: ONLY COPIES OF THIS SURVEY MADE FROM THE ORIGINAL AND EMBOSSED WITH THE SURVEYORS' SEAL SHALL BE VALID COPIES.

NOTE: THIS SURVEY IS SUBJECT TO EASEMENTS AND RIGHTS OF WAY OF RECORD.

Chester S. Deres
CHESTER S. DERES JR., L.S.
N.Y.S. LICENSE NO.049768



- NOTES:
1. SMOKE DETECTOR/ALARMS TO BE HARDWIRED AND INTERCONNECTED, EACH TO HAVE BATTERY BACKUP
 2. CARBON MONOXIDE DETECTOR/ALARMS TO BE HARDWIRED AND INTERCONNECTED, EACH TO HAVE BATTERY BACKUP
 3. NEW FLOOR AREA = 55 SF
CONVERTED GARAGE AREA = 425 SF
NEW GARAGE AREA = 665 SF
 4. SAFETY GLAZING IS REQUIRED FOR THE FOLLOWING:
A. ANY GLASS DOORS
 5. WINDOWS ARE PELLA PROLINE
 6. EXISTING WINDOWS TO BE REMOVED, NEW WINDOWS TO BE LOCATED AS CLOSE AS POSSIBLE TO EXISTING WINDOWS LOCATIONS, LARGER WINDOWS MAY REQUIRE A NEW HEADER, USE HEADER SCHEDULE FOR HEADER SIZE
 7. REAR GARAGE WALL TO HAVE A 3/4 HOUR FIRE RATING, TO HAVE 5/8" TYPE X DRYWALL TO CEILING (GARAGE SIDE) AND 1/2" TYPE X DRYWALL TO CEILING (HOUSE SIDE)
 8. FINAL DESIGN OF RENOVATED KITCHEN BY OTHERS
 9. FIREPLACE IS GAS FIRED, DIRECT VENT, INSTALL AND VENT AS PER MANUFACTURER'S DIRECTIONS

- KEY
- = SMOKE DETECTOR/ALARM
 - ⊙ = EXHAUST FAN
 - △ = CARBON MONOXIDE DETECTOR/ALARM
 - TG = TEMPERED GLASS

NOTES:

RESIDENTIAL ADDITION
FOR
MR. AND MRS. ROESCH

FLOOR PLAN

5030 LEDGE LANE
TOWN OF CLARENCE

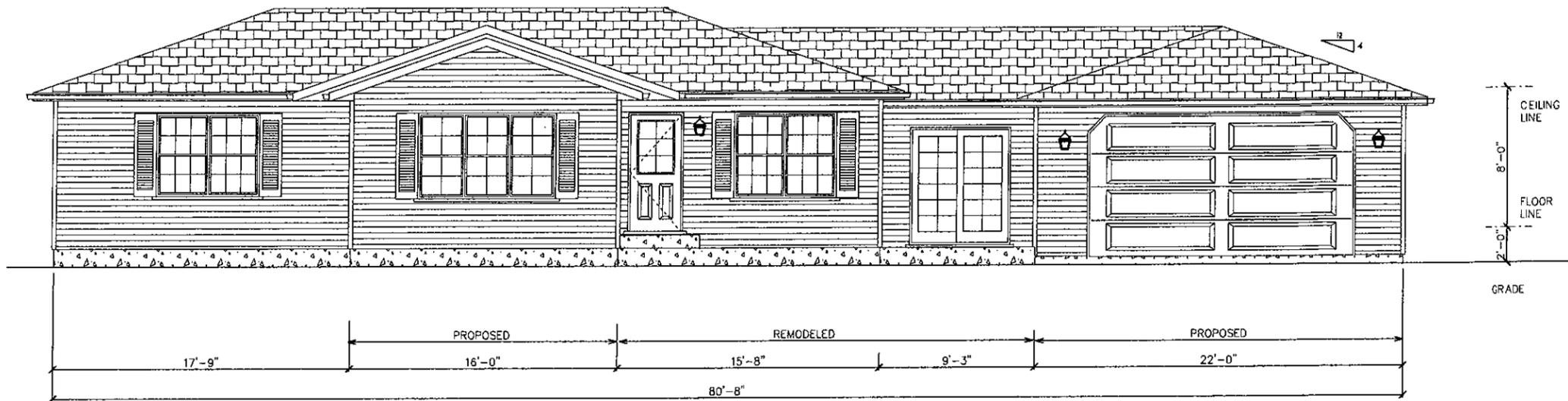
SCALE 1/4" = 1'-0"

DATE SEPTEMBER 22, 2014

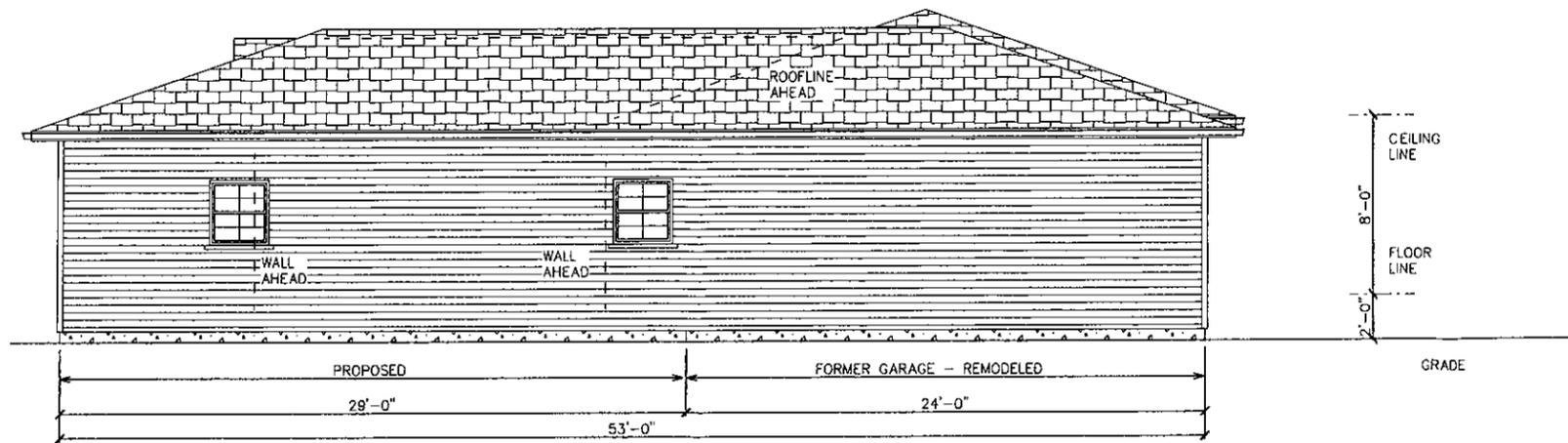
DRAWN BY R. LEARY

3 OF 6

FRONT ELEVATION



RIGHT ELEVATION



DESIGN CRITERION		
DESIGN ITEM	CODE STANDARD	DESIGN
GROUND SNOW LOAD (PSF)	50	50
WIND SPEED (MPH)	90	90
SEISMIC DESIGN	B	B
WEATHERING DAMAGE	SEVERE	SEVERE
TERMITE DAMAGE	SLIGHT TO MODERATE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT	NONE TO SLIGHT
FROST LINE DEPTH (INCHES)	42	42
WINTER DESIGN TEMP (F)	2	2
FLOOD HAZARD	TOWN	TOWN

NOTES:

RESIDENTIAL ADDITION
FOR
MR. AND MRS. ROESCH

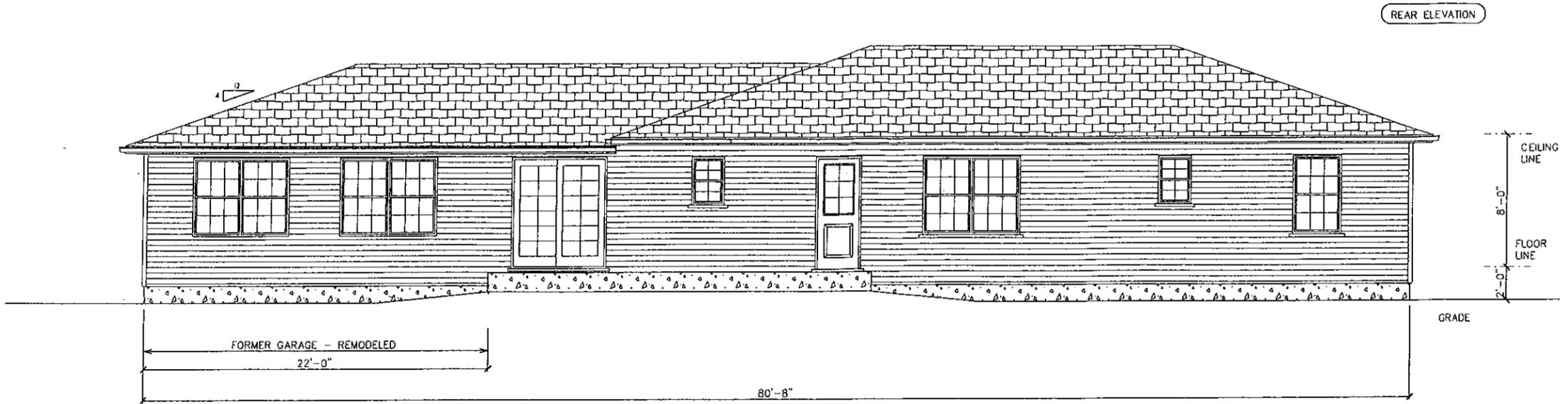
FRONT AND RIGHT ELEVATIONS

5030 LEDGE LANE
TOWN OF CLARENCE

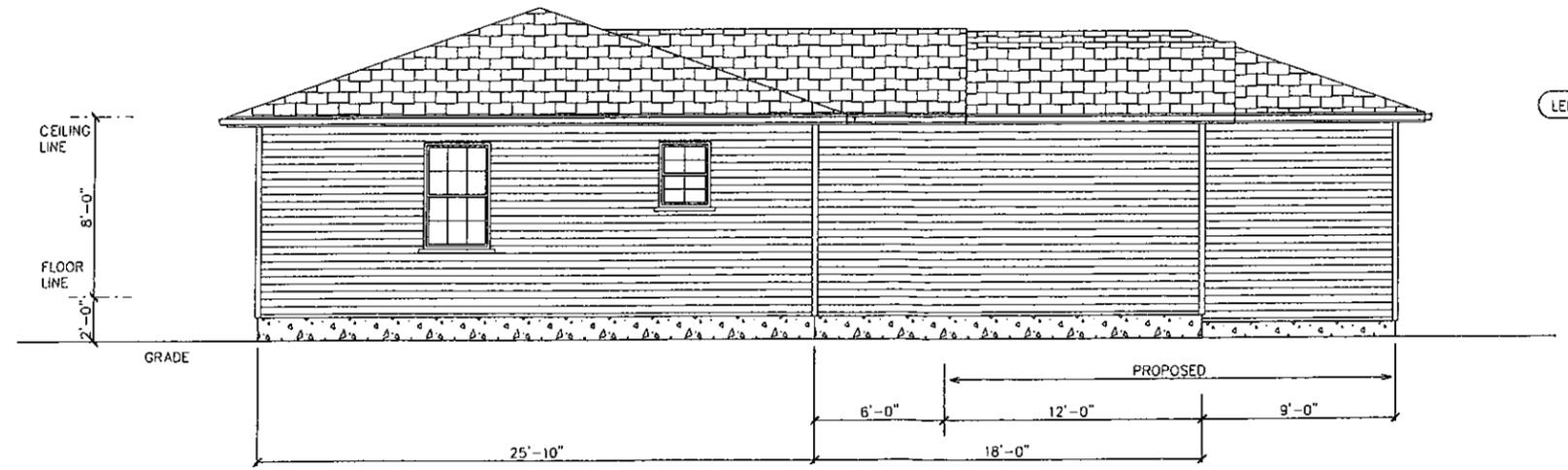
SCALE 1/4" = 1'-0"

DATE SEPTEMBER 22, 2014

DRAWN BY R. LEARY



REAR ELEVATION



LEFT ELEVATION

NOTES:

RESIDENTIAL ADDITION
FOR
MR. AND MRS. ROESCH

REAR AND LEFT
ELEVATIONS

5030 LEDGE LANE
TOWN OF CLARENCE

SCALE 1/4" = 1'-0"

DATE SEPTEMBER 22, 2014

DRAWN BY R. LEARY

2 OF 6